



AGENDA
REGULAR MEETING OF MUNICIPAL COUNCIL

Monday, August 26, 2024, 6:30 PM

Corporation of The Township of Edwardsburgh Cardinal
Council Chambers, Spencerville Ontario

1. Call to Order

2. Indigenous Land Acknowledgement Statement

As we gather, we are reminded that the Township of Edwardsburgh Cardinal is situated on traditional territory of Indigenous peoples dating back countless generations, which is rich in history and home to many First Nations, Métis and Inuit people today.

As a Township, we have a responsibility for the stewardship of the lands on which we live, work and play, and today, this meeting place is still home to Indigenous people, and we are grateful to have the opportunity to work on and call this land home.

3. Approval of Agenda

4. Disclosure of Pecuniary Interest or Conflict of Interest & the General Nature Thereof

5. Delegations & Presentations

- a. Jule Power- Request Support for NRCan EV Application
Himanshu Sudan, CEO & Lara Coombs

6. Consent Agenda

Items listed under Consent Agenda are considered routine or no longer require a further discussion and are enacted in one motion. The exception to this rule is that a Member may request that one or more items be pulled for discussion and voted on separately.

- a. Regular Council - July 22, 2024 [See item 7a.]

7. Minutes of the Previous Council Meetings

- a. Regular Council - July 22, 2024

8. Business Arising from the Previous Council Meeting (if any)

9. Committee Minutes

None.

10. Action and Information Items from Committees

- a. Jule Power - Letter of Support for NRCan EV Application
- b. Community Futures Grenville CED Grant Application to Support a New CIP
- c. Application for Severance - B-87-24, B-88-24, B-89-24 - Hurley Rd (Zanderplan for Hutton)
- d. Application for Site Plan Control - 161-163 Shanly Rd (Annable Designs for Simard)
- e. Application for Site Plan Control - Newport Dr (Purplefarm Genetics)
- f. CWELCC Child Care Spaces Resolution of Support
- g. CN Private Crossing Upgrades Impacting Landowners
- h. Port - Assignment of Lease - P-42

11. Correspondence

12. Port Disbursements

- 13. Municipal Disbursements**
- 14. By-laws**
 - a. Appoint Interim Chief Building Official
 - b. Tenancy Assignment of Lease - P-42
 - c. Amend 2023-06 - Livestock Investigator
 - d. Site Plan Control Agreement - 161-163 Shanly Rd (Annable Designs for Simard)
 - e. Site Plan Control Agreement- Newport Dr (Purplefarm Genetics)
 - f. Appoint Building Inspector
- 15. CAO's Administrative Update**
- 16. Councillor Inquiries or Notices of Motion**
- 17. Mayor's Report**
- 18. Question Period**
- 19. Closed Session**
 - a. Section 239(2)(b) Personal matters about an identifiable individual, including municipal or local board employees; Specifically: Byers Rd Property
 - b. Section 239(2)(c) Proposed or pending acquisition or disposition of land by the municipality or local board; Specifically: Byers Rd Property
 - c. Section 239(2)(b) Personal matters about an identifiable individual, including municipal or local board employees; Specifically: Approve minutes of Closed Session dated July 22, 2024
- 20. Report Out of Closed Session**
- 21. Confirmation By-law**
- 22. Adjournment**

MINUTES
MUNICIPAL COUNCIL

Monday, July 22, 2024
6:30 PM

Corporation of The Township of Edwardsburgh Cardinal
Council Chambers, Spencerville Ontario

PRESENT: Mayor Tory Deschamps
Deputy Mayor Stephen Dillabough
Councillor Joe Martelle
Councillor Waddy Smail
Councillor Chris Ward

STAFF: Sean Nicholson, CAO
Rebecca Crich, Clerk
Jessica Crawford, Treasurer
Mike Spencer, Manager of Parks, Recreation & Facilities
Candise Newcombe, Deputy Clerk
Chris LeBlanc, Manager of Public Works
Wendy VanKeulen, Community Development Coordinator

1. Call to Order

Mayor Deschamps called the meeting to order at 6:30 p.m.

2. Indigenous Land Acknowledgement Statement

The Chair read the indigenous land acknowledgement statement.

3. Approval of Agenda

Decision: 2024-172

Moved by: S. Dillabough

Seconded by: J. Martelle

THAT Municipal Council approves the agenda as presented.

Carried

4. Disclosure of Pecuniary Interest or Conflict of Interest & the General Nature Thereof

None.

5. Delegations & Presentations

- a. Chun Liang - Conservation and Demand Management (CDM) Plan O. Reg 25/23

A brief summary of the report requirements was provided, noting the submission of the report prior to the June 30 deadline.

Mr. Liang provided a summary of the services provided, background on the provincial regulation requirements, an overview of the Township facilities report, facility upgrades to date and future energy measures suggested to attain the target of reduction.

There was discussion regarding the following: possible funding opportunities, the lifespan of solar panels, options for energy-efficient ice and air temperature maintenance systems, and the return on investment for various energy-efficient upgrades.

The Chair thanked Mr. Liang for his presentation.

- b. David Simpson - Lockmasters Meadow Subdivision

Mr. Simpson provided a summary of his request to Council to consider a reduced amount or alternate options for covering the financial securities required by the Township for the Lockmaster's Meadows subdivision.

There was discussion regarding the following: the expected timeline for the development of the subdivision, the proposed building strategy, the status of the application for hydro and progress with CN rail, and the proposed marketing plan for the disposition of the properties.

The Chair thanked Mr. Simpson for his presentation.

c. Rob Adams - Township Strategic Plan

Mr. Adams provided a detailed summary of the strategic plan highlighting the high level of public engagement and general positive feedback received.

Members commended Mr. Adams on the comprehensive compilation of the Township Strategic Plan and discussed the following: managing benchmarks and metrics against the strategic plan, adding a section to Council reports to relate the report topic to the strategic plan, and completing the roadmap to actionable items based on the strategic plan.

The Chair thanked Mr. Adams for his presentation.

6. Consent Agenda

Decision: 2024-173

Moved by: C. Ward

Seconded by: S. Dillabough

THAT Municipal Council receives and approves the following consent agenda items as presented:

- a. Regular Council – June 24, 2024
- b. Public Library Board – May 28, 2024
- c. Port Management Committee – June 17, 2024

Carried

7. Minutes of the Previous Council Meetings

- a. Regular Council - June 24, 2024 - CONSENT

Decision: 2024-173

Moved by: C. Ward

Seconded by: S. Dillabough

THAT Municipal Council receives and approves the minutes of the Regular Council Meeting dated June 24, 2024.

Carried

8. Business Arising from the Previous Council Meeting (if any)

None.

9. Committee Minutes

- a. Public Library - May 28, 2024 - CONSENT

Decision: 2024-173

Moved by: C. Ward

Seconded by: S. Dillabough

THAT Municipal Council receives the minutes of the Public Library Board Meeting dated May 28, 2024.

Carried

- b. Port Management Committee - June 17, 2024 - CONSENT

Decision: 2024-173

Moved by: C. Ward

Seconded by: S. Dillabough

THAT Municipal Council receives the minutes of the Port Management Committee dated June 17, 2024.

Carried

10. Action and Information Items from Committees

- a. 2nd Quarter Treasury and Reserve Report

Council was provided with a summary of the report and discussed the progress and costs of the 2024 road program and the proposed timeline for use of the remaining modernization funding

Decision: 2024-174

Moved by: C. Ward

Seconded by: S. Dillabough

THAT Municipal Council receives the 2024 2nd Quarter Treasury and Reserve Report as presented.

Carried

- b. 2nd Quarter Budget to Variance Report

Council was provided with an overview of the report and highlighted a variance in the curbside waste and recycling collection amounts.

Decision: 2024-175

Moved by: W. Smail

Seconded by: J. Martelle

THAT Municipal Council receive the 2024 2nd Quarter Budget Variance Report as presented.

Carried

- c. 2nd Quarter Council Remuneration Report

Decision: 2024-176

Moved by: J. Martelle

Seconded by: W. Smail

THAT Municipal Council receives the 2024 2nd Quarter Council Remuneration Report as presented.

Carried

- d. Application for Severance B-75-24, 2303 Ventnor Rd (IN Engineering and Surveying, o/b Craddock)

Council reviewed the report and discussed the reasoning for the entranceway location.

Decision: 2024-177

Moved by: S. Dillabough

Seconded by: J. Martelle

THAT Municipal Council:

1. Recommend in favour of severance application B-74-24; and
2. Recommend in favour of severance application B-75-24 conditional upon the Applicant/Owner obtaining relief from the zoning bylaw, as necessary, to permit the deficient lot frontage for the retained lot.

Carried

- e. Application for Severance B-81-24, 1212 Crowder Rd (Dobbie)

Council was provided with a summary of the report and discussed the following: requirements for a change of use permit and the request for an easement to allow the use of the driveway for farming operations.

Decision: 2024-178

Moved by: C. Ward

Seconded by: S. Dillabough

THAT Municipal Council recommend in favour of severance B-81-24, including the proposed easement, with the condition that a zoning bylaw amendment is obtained to address the deficient lot frontage on the severed lot and prohibit future non-agricultural use, including residential uses, on the retained parcel.

Carried

- f. Township Strategic Plan

Council noted the following: the added value the roadmap provides, the 92% support of the public for the proposed plan, commended staff on their hard work and requested that a section be added to reports to outline the relation of the report topic to the Township's strategic plan.

Decision: 2024-179

Moved by: J. Martelle

Seconded by: W. Smail

THAT Municipal Council receives the 2024-2028 Township of Edwardsburgh Cardinal's Strategic Plan as presented.

Carried

- g. 2024 Budget Increase - Salary Review

Council was provided with a summary of the report and discussed the number of quotes received, the estimated timeline for receiving the study report, and clarified the intent to include all union and non-union employees and Council salaries in the review.

Decision: 2024-180

Moved by: W. Smail

Seconded by: J. Martelle

THAT Municipal Council approves the budget increase for the 2024 salary and pay equity study from \$10,000 to \$25,000.

Carried

h. Township Facilities Conservation and Demand Management Plan

Council was provided with a summary of the report and discussed the gap in energy efficiency savings between Township facilities, the benefits of the study as a reference tool during budget discussions, renovations to the roof at the Memorial Centre in Brockville, the return on investment for solar panel installation, and cost savings of LED versus fluorescent lighting. There was a general discussion regarding funding opportunities for future projects.

Decision: 2024-181

Moved by: S. Dillabough

Seconded by: J. Martelle

THAT Municipal Council receives the Township of Edwardsburgh Cardinal's 2024-2029 Energy Conservation and Demand Management Plan.

Carried

i. Award the Truck with Snowplow Equipment Tender EC-PW-24-07

Council reviewed the report and clarified that the proposed amount of \$407,845.25 included the contingency amount for the project.

Decision: 2024-182

Moved by: C. Ward

Seconded by: S. Dillabough

THAT Municipal Council award the 5 Tonne Truck plus related Snow Plow Equipment Tender EC-PW-24-07 to Premier Truck Group at the bid price of \$ 360,925.00 plus HST for a total cost of \$407,845.25, and direct staff to execute the necessary documents.

Carried

j. Cardinal Works Garage - Structural Wall Repair - Unbudgeted Item

Council reviewed the report and discussed alternate funding sources for the work, the reasoning for the deterioration, isolation of the issue, and noted a future report on the structural status of the Cardinal Works garage building from the Township's Interim CBO to be presented at the September Administration and Operations meeting.

Decision: 2024-183

Moved by: W. Smail

Seconded by: J. Martelle

THAT Municipal Council authorize staff to proceed with the structural repairs and new partial wall in bay 5 at the Cardinal Works Garage to an upset limit of \$30,000.00 and cover the unbudgeted expense through a combination of operational adjustments and reserves.

Carried

k. HFI Request for Hands Rd Pavement Extension

Council reviewed the report and discussed the following: current unopened road allowance policy regulations, proposing HFI construct the road and the Township maintain the road in perpetuity, current Township road maintenance standards for the area, various agreement options to facilitate the work, and the implications of the inclusion of the proposed road improvement into the Township road network should HFI choose to

construct the road due to the financial impact the road improvement will have for the future.

Members suggested reviewing the proposal during the 2025 budget discussions.

Decision: 2024-184

Moved by: W. Smail

Seconded by: J. Martelle

THAT Municipal Council remain consistent with the unopened road allowance policy.

Carried

I. Port New Grain Dryer Project - Propane Installation Project

Decision: 2024-185

Moved by: C. Ward

Seconded by: S. Dillabough

THAT Municipal Council:

1. Award the Propane Connect Work as part of the New Grain Dryer at the Annex - Project #300-069 to W.O. Stinson in the amount of \$302,000.00, excluding HST, plus a 10% contingency; and
2. Authorize the Port General Manager to sign the purchase order with W.O. Stinson on behalf of the Township.

As recommended by the Port Management Committee.

Carried

11. Correspondence

Decision: 2024-186

Moved by: W. Smail

Seconded by: J. Martelle

THAT Municipal Council receives the correspondence listings for the following dates as previously circulated:

- June 26, 2024
- July 3, 2024
- July 10, 2024
- July 17, 2024

Carried

12. Municipal Disbursements

Decision: 2024-187

Moved by: C. Ward

Seconded by: S. Dillabough

THAT Municipal Council receives the payment of municipal invoices circulated and dated as follows:

- Report dated June 26 (2024-101) \$2,012,912.12
- Report dated June 26 (2024-103) \$1,926,675.26
- Report dated June 27 (2024-104) \$230,502.67

- Report dated July 17 (2024-111) \$510,535.36
 - Report dated July 18 (2024-112) \$274,706.72
 - Report dated July 18 (2024-113) \$120,414.92
- TOTAL: \$5,075,747.05**

Carried

13. By-laws

- a. Port - Lease Agreement - St. Lawrence Marina

Decision: 2024-188

Moved by: W. Smail

Seconded by: J. Martelle

THAT the mover be granted leave to introduce a bylaw to authorize the Mayor, CAO and Port General Manager to execute a lease agreement with St. Lawrence Marina Ltd., and this shall constitute first and second reading thereof.

Carried

Decision: 2024-189

Moved by: W. Smail

Seconded by: J. Martelle

THAT a bylaw to authorize the Mayor, CAO and Port General Manager to execute a lease agreement with St. Lawrence Marina Ltd., be now read a third and final time and finally passed, signed, sealed and numbered 2024-38.

Carried

Council highlighted the continued business success and partnership with St. Lawrence Marina.

- b. Port - Lease Agreement - Joe Computer

Decision: 2024-190

Moved by: C. Ward

Seconded by: S. Dillabough

THAT the mover be granted leave to introduce a bylaw to authorize the Mayor, CAO and Port General Manager to execute a lease agreement with Joe Moulton o/a Joe Computer, and this shall constitute first and second reading thereof.

Carried

Decision: 2024-191

Moved by: C. Ward

Seconded by: S. Dillabough

THAT a bylaw to authorize the Mayor, CAO and Port General Manager to execute a lease agreement with Joe Moulton o/a Joe Computer, be now read a third and final time and finally passed, signed, sealed and numbered 2024-39.

Carried

14. CAO's Administrative Update

Council reviewed the CAO's administrative update and discussed the following items:

- Timeline for construction completion for Reid St.
- Request to circulate information to Members of Council regarding upcoming Township events.
- Camping restrictions at the Cardinal waterfront.
- Inclusion of the construction of a Spencerville splash pad in the 2025 budget discussions.
- Report following the traffic study and counts on Lennox Rd. and Baker Rd.

Decision: 2024-192

Moved by: J. Martelle

Seconded by: W. Smail

THAT Municipal Council receives the CAO's Administrative Report as presented.

Carried

15. Councillor Inquiries or Notices of Motion

Deputy Mayor Dillabough inquired about speed limits on Beverly St. in Spencerville and highlighted the upcoming Bluegrass Festival held in Spencerville from August 8-11.

Councillor Ward inquired about the progress on the Township's 2nd round application to the Housing Accelerator Fund prior to the September 13, 2024 deadline.

Councillor Ward inquired about the timeline for the exclusion zone around the Pittston landfill site.

Councillor Martelle inquired about next steps for the Cardinal Canal clean-up project.

Councillor Smail inquired about areas at Legion Way that permit fishing and recommended restricting the activity at the boat launch.

Councillor Smail inquired about grading performed along Legion Way and goose droppings clean-up procedures.

Deputy Mayor Dillabough noted concerns with CN rail crossing safety upgrades and the onus of partial project costs landing on property owners.

16. Mayor's Report

Mayor Deschamps reported on the following:

- Commended the Cardinal Sea Sharks on hosting their swim meet, highlighting the winning team the Johnstown Bear Paws.
- Commended all Township staff on their diligent work in maintaining and providing municipal services throughout the Township, highlighting the positive resident feedback received despite the staff shortages.

Decision: 2024-193

Moved by: S. Dillabough

Seconded by: C. Ward

THAT Municipal Council receives the Mayor's Report as presented.

Carried

17. Question Period

None.

18. Closed Session

Decision: 2024-194

Moved by: C. Ward

Seconded by: S. Dillabough

THAT Municipal Council proceeds into closed session at 8:53 p.m. in order to address a matter pertaining to:

- a. Section 239(2)(f) Advice that is subject to solicitor-client privilege, including communications necessary for that purpose; Specifically: Lockmaster Meadow Subdivision
- b. Section 239(2)(b) Personal matters about an identifiable individual, including municipal or local board employees; Specifically: Byers Rd Property
- c. Section 239(2)(c) Acquisition or disposition of land by the municipality or local board; Specifically: Byers Rd Property
- d. Section 239(2)(b) Personal matters about an identifiable individual, including municipal or local board employees; Specifically: Planning/Administration
- e. Section 239(2)(b) Personal matters about an identifiable individual, including municipal or local board employees; Specifically: Approve Minutes of Closed Session dated June 24, 2024

Carried

- a. Section 239(2)(f) Advice that is subject to solicitor-client privilege, including communications necessary for that purpose; Specifically: Lockmasters Meadow Subdivision
- b. Section 239(2)(b) Personal matters about an identifiable individual, including municipal or local board employees; Specifically: Byers Rd Property
- c. Section 239(2)(c) Proposed or pending acquisition or disposition of land by the municipality or local board; Specifically: Byers Rd Property
- d. Section 239(2)(b) Personal matters about an identifiable individual, including municipal or local board employees; Planning/Administration
- e. Section 239(2)(b) Personal matters about an identifiable individual, including municipal or local board employees; Specifically: Approve Minutes of Closed Session dated June 24, 2024.

Decision: 2024-195

Moved by: W. Smail

Seconded by: J. Martelle

THAT the closed meeting of Municipal Council does now adjourn and the open meeting does now resume at 9:58 p.m.

Carried

19. Report Out of Closed Session

The Chair reported that Council met in closed session to:

- Received advice that is subject to solicitor-client privilege, including communications necessary for that purpose; and
- Provided direction to the CAO regarding the Byers Rd. property; and

- Provided direction to the CAO regarding personal matters respecting Planning/Administration; and
- Reviewed closed session minutes dated June 24, 2024.

Decision: 2024-196

Moved by: S. Dillabough

Seconded by: C. Ward

THAT Municipal Council receives and approves the minutes of Closed Session dated June 24, 2024.

Carried

20. Confirmation By-law

Decision: 2024-197

Moved by: J. Martelle

Seconded by: W. Smail

THAT a by-law to adopt, confirm and ratify matters dealt with by resolution be now passed, signed, sealed and numbered 2024-40.

Carried

21. Adjournment

Decision: 2024-198

Moved by: W. Smail

Seconded by: J. Martelle

That Municipal Council does now adjourn at 10:00 p.m.

Carried

Mayor

Deputy Clerk



**TOWNSHIP OF EDWARDSBURGH CARDINAL
ACTION ITEM**

Committee: Council

Date: August 26, 2024

Department: Administration

Topic: Jule Power – Letter of Support for NRCan EV Application

Purpose: To authorize the Mayor to execute the letter of support for the installation of Jule’s EV charging infrastructure under the NRCan program.

Background: The zero-emission vehicle infrastructure program provides funding towards the deployment of EV charges and hydrogen refueling stations across Canada. This initiative address barriers to the adoption of zero emission vehicles – the lack of charging stations – by increasing the availability of localized charging opportunities where Canadians live, work, travel and play. The program is administered through three funding streams: for owners/operators of EV infrastructure, delivery organization and indigenous organizations.

Jule Power addressed Council in November and December last year and applied for funding through MTO’s EV ChargeON program. The NRCan program is very similar and is a way to help Jule pay for the proposed EV charging infrastructure. The NRCan application with Jule is due mid-September and remains non-binding, with no cost to the Township. The NRCan program permits the Township and Jule to change the location if Council chooses to do so even after the application has been submitted and approved.

The Township currently has a memorandum of understanding with Jule for possible future EV charging stations within the Township. Jule Power is seeking a letter of support from the Township for the installation of EV charging infrastructure under the NRCan program. The application will be for the same 4 sites as previously discussed and agreed upon.

Item	Jule
Potential Locations	Ingredion Centre Spencerville Arena South Edwardsburgh Community Centre Cardinal Waterfront
Charging Station Type	Level 3 (bank of 2 or 4)
Asset Ownership	Jule
Capital Cost	Jule

There is nothing preventing Jule or the Township from submitting multiple applications for funding at the same locations.

Policy Implications: Deadline for Jule to submit the NRCan application is September 19, with a deadline to complete information with the Township by September 14, 2024. If one of the applications are successful, a formal agreement would be negotiated and executed between the parties.

Strategic Plan Implications: By supporting the request from Jule Power for possible future EV charging stations within the Township, this initiative directly supports the strategic plan's environmental objective 6.3 to promote a sustainable community via EV charging stations.

Financial Considerations: No charge to the Township.

Recommendation: THAT Municipal Council authorize the Mayor to execute the letter of support for the installation of Jule's EV Charging Infrastructure and direct staff to submit necessary documents to support application submission under the NRCan program for the pre-selected locations.



Clerk



CAO

August, 2024

Dear Sir/Madam,

RE: Letter of Support for the Installation of Jule's EV Charging Infrastructure

I am writing in strong support of eCAMION Inc. dba Jule installing zero emission charging stations and a battery energy storage system (BESS). Using eCAMION's solution, charging electric vehicles (EVs) from their energy storage system will allow fast charging with no need to upgrade the existing electrical grid infrastructure. It will also reduce charging time from 6-8 hours (level 2) to only 20 minutes (level 3).

Nearly one-quarter of Canada's GHG emissions come from transportation, which is primarily fueled using carbon intensive fuels. Early action to support fuel switching is needed for Canada to meet its GHG reductions goals. Uptake of lower carbon transportation options has been limited due to lack of recharging stations. To that end, we welcome eCAMION's initiative to support the development and the deployment of fast charging infrastructure.

To date, most charging stations are level 2, and on an average take 6 to 8 hours to charge an EV. Level 3 fast charging stations are needed to enable rural and interurban travelling for electrical vehicles. The challenge for level 3 charging stations is the insufficient grid infrastructure that can only support level 2 charging stations.

eCAMION's innovative approach utilizes the current grid infrastructure using an energy storage system. This system acts as a buffer between the grid and the EV and enables charging of multiple EVs at the same time.

The Township of Edwardsburgh Cardinal is interested in working together with eCAMION on deploying these charging stations at several of our municipal sites. We are excited about this opportunity and look forward to working with eCAMION Inc. on its vision of a low carbon footprint future.

Sincerely,

Tory Deschamps, Mayor
Township of Edwardsburgh Cardinal



TOWNSHIP OF EDWARDSBURGH CARDINAL ACTION ITEM

Committee: Council

Date: August 26, 2024

Department: Community Development

Topic: Community Futures Grenville CED Grant Application to support a new Community Improvement Plan

Purpose: As we begin to prepare a new Community Improvement Plan, funding from CF Grenville's Community Economic Development initiative can help us enhance our community engagement. Council's support is required in order to submit an application for funding.

Background: The Township of Edwardsburgh Cardinal is embarking on a new Community Improvement Plan (CIP) project to update and enhance our strategic approach to local development. The existing CIP, established in 2012, has served the township well but is now outdated given the significant economic and social changes that have occurred over the past decade. A new CIP will provide a refreshed, strategic approach that aligns with current realities and future goals, ensuring that the township's development efforts are both relevant and effective in meeting the needs of its residents and businesses.

A key element of the new CIP project is ensuring robust community engagement. The township recognizes the importance of involving residents, business owners, and other stakeholders in the planning process to create a plan that truly reflects the community's needs and aspirations. Engaging the community requires extensive outreach efforts, including public meetings, surveys, focus groups, and targeted communications. These activities are essential to gather diverse perspectives, build community support, and ensure the plan's success.

The Community Futures Grenville Initiatives offers non-repayable contributions for community economic development projects, covering up to 50% of eligible project expenses, to a maximum of \$3,000. This program supports projects that:

- Address strategic economic development priorities
- Support the business community
- Have a significant, measurable impact
- Demonstrate collaboration with community economic development partners
- Enhance community capacity for economic development.

Projects must have their primary impact in Greenville County (Prescott, Augusta, Edwardsburgh Cardinal, and North Greenville). Municipalities, Business Improvement Areas and not-for-profit organizations are eligible to apply.

To fully realize the potential of the new CIP, it is suggested that we seek CF Greenville funding to support vital community engagement activities by covering additional consulting fees. This additional support will enable us to engage the community and businesses more comprehensively and gather valuable feedback, ensuring that the CIP is as impactful and inclusive as possible. Recognizing that business owners and entrepreneurs have busy schedules, we will tailor our communication to fit their needs, providing information in formats and through channels that align with their business and lifestyle, thereby maximizing their engagement.

Policy Implications: The Planning Act requires at least one Public Meeting prior to the adoption of a Community Improvement Plan. Staff recommend additional engagement with our residents and businesses throughout the process.

Strategic Plan Implications: An updated Community Improvement Plan will support many objectives within our Strategic Plan. Enhanced community outreach aligns with the objectives of our Good Governance priority by improving communication with the community using new tools and marketing to expand outreach (objective 2.2).

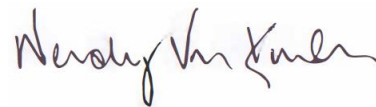
Financial Considerations: The Township of Edwardsburgh Cardinal will issue an informal RFP to consulting firms to prepare the new Community Improvement Plan. There is a current budget for this project of \$30,000.

By leveraging this grant, up to \$3000, we can make certain that the CIP is truly reflective of the community's needs and aspirations, ultimately leading to a more successful and impactful plan that benefits everyone in Edwardsburgh Cardinal.

Recommendation: THAT Municipal Council endorse the submission of an application to Community Futures Greenville's Community Economic Development Initiative for funding to support additional community engagement.



Economic Development and
Communications Consultant



Community Development Coordinator



ECONOMIC DEVELOPMENT

COMMUNITY FUTURES GRENVILLE INITIATIVE

Offering non-repayable contributions for community economic development projects, **covering up to 50% of eligible project expenses**, to a **maximum of \$3,000**. This program supports projects that:

- ✓ ADDRESS STRATEGIC ECONOMIC DEVELOPMENT PRIORITIES;
- ✓ SUPPORT THE BUSINESS COMMUNITY;
- ✓ HAVE A SIGNIFICANT, MEASURABLE IMPACT;
- ✓ DEMONSTRATE COLLABORATION WITH COMMUNITY ECONOMIC DEVELOPMENT PARTNERS;
- ✓ ENHANCE COMMUNITY CAPACITY FOR ECONOMIC DEVELOPMENT.

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TOWNSHIP OF EDWARDSBURGH CARDINAL ACTION ITEM

Committee: Council

Date: August 26, 2024

Department: Community Development

Topic: Application for Severance, Hurley Road (ZanderPlan Inc. o/b Hutton)

Purpose: To review 3 applications for severance, B-87-24, B-88-24 and B-89-24, which would result in the creation of 2 new lots on Hurley Road, in the Township's Rural Policy Area.

Background: On behalf of the property owners, ZanderPlan Inc. has submitted 3 severance applications for a property on Hurley Road. The subject property is vacant and approximately 4.15 hectares. It surrounds a 0.55 hectare parcel with a dwelling and accessory buildings. The subject property is a corner lot with access from Hurley Road, adjacent to County Road 21. There is a drainage swale that crosses the south part of the property. Surrounding properties are a mix of residential, industrial and agricultural use, with some livestock facilities nearby at 3707 County Rd 21, 6028 Hurley Rd and 6057 Hurley Rd.

- Application B-87-24 proposes one new 1.15ha lot on the south side of the property with 94.6m of frontage on Hurley Rd.
- Application B-88-24 proposes a 0.33 ha lot addition to 6008 Hurley Rd.
- Application B-89-24 proposes one new 0.74ha lot with 50m of frontage on Hurley Rd.
- The retained parcel would be 1.95 ha with 127.3m of frontage on Hurley Rd.

Policy Implications: The subject land is within the Rural Policy Area of the Township Official Plan and zoned Rural (RU) as per our Zoning Bylaw 2022-37, as amended.

Official Plan

For the Rural Policy Area, the Official Plan provides policies to provide for the long-term orderly development of the rural lands in a manner which is consistent with ensuring the protection of natural and environmental resources, while providing opportunities for a modest amount of compatible development and a diversified rural economy (3.4.1) The OP permits limited, low-density residential development in the Rural Policy Area (3.4.2).

Issues of land use compatibility between agricultural and non-agricultural uses are addressed using OMAFRA's Minimum Distance Separation formulae (6.16.2.1).

Setbacks were calculated for the nearby livestock facilities and the lot configuration proposed allows a suitable building envelope outside of the required setbacks on each new lot, consistent with MDS implementation guideline document.

Site suitability for sewage disposal systems and water supply are important considerations for lot creation on private services (5.4.7). The Township's policy (Resolution 2024-030) provides that a hydrogeological assessment and terrain analysis is a reasonable condition of severance where a lot to be created is undeveloped, requires private services, and is less than 1 ha in size. For the 0.74ha lot proposed by severance B-89-24, it is recommended that further investigation be completed by a qualified professional, in accordance with MECP guidelines, to determine whether site conditions are suitable for the long-term provision of private services.

Zoning Bylaw

The proposal complies with the provisions for the Rural zone (section 12.1), and the applications meet the required MDS setbacks (3.15).

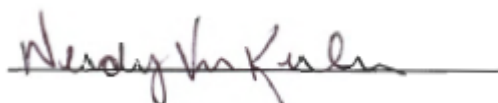
Strategic Plan Implications: The Township's approach to the severance application review is consistent with Growth and Economic Development Priorities in the Strategic Plan. With careful consideration for the suitability of private services, we help to ensure housing is available with appropriate water quality and quantity for the long-term. Consideration for minimum distance separation helps to support our agricultural industry.

Financial Considerations: The applicant has submitted the required fee for the severances to the Township.

Recommendation: That Council recommend in favour of severance applications B-87-24 and B-88-24;

And that Council recommend in favour of severance application B-89-24 with the following conditions:

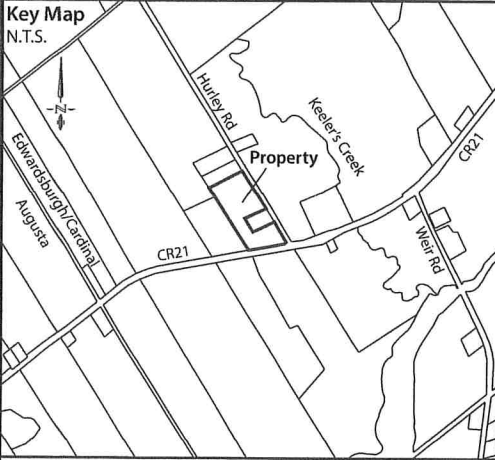
1. That a hydrogeological assessment and terrain analysis be completed by a qualified professional to demonstrate that the site conditions are suitable for the long-term provision of private services with no negative impacts (or cumulative negative impacts) to the environment or public health resulting from the use of on-site private water and sewage services to the satisfaction of the Township; and
2. The owner enters into a development agreement with the Township, as required by the Township, to implement the recommendations of the hydrogeological assessment and terrain analysis.



Community Development Coordinator

Hutton Severance Sketch

Hurley Road Property
 Part 1, Plan 15R-8000
 Part Lot 36, Concession 6
 Geographic Edwardsburgh
 Township of Edwardsburgh/Cardinal
 LEEDS AND GRENVILLE



Legend

- Lands to be Severed
- Lands to be Retained
- Lands Receiving the Lot Addition
- Buildable Areas on Vacant Lots
- MDS Setbacks
- Watercourse
- Overhead Wires
- UP Utility Poles

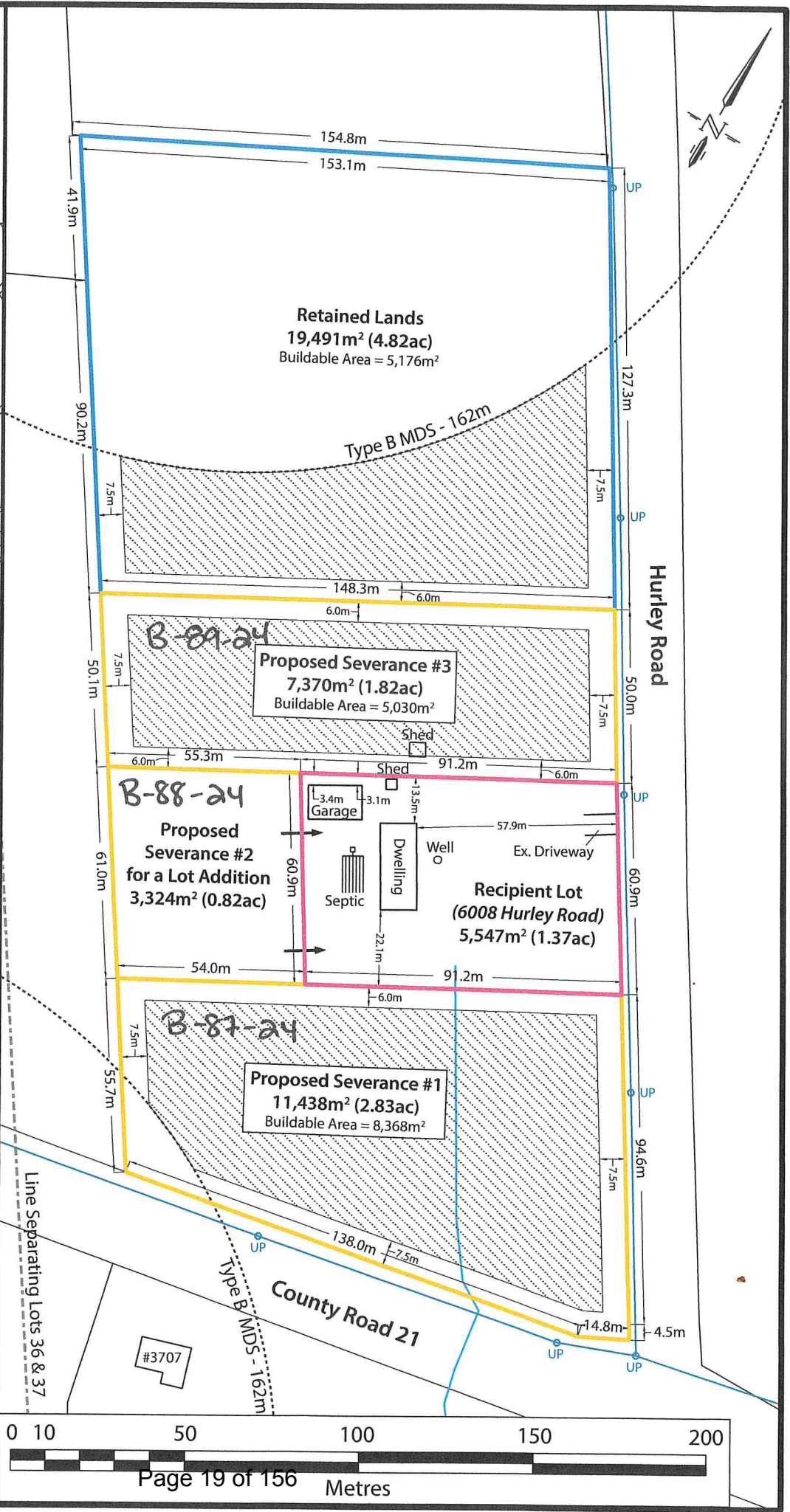
Notes:

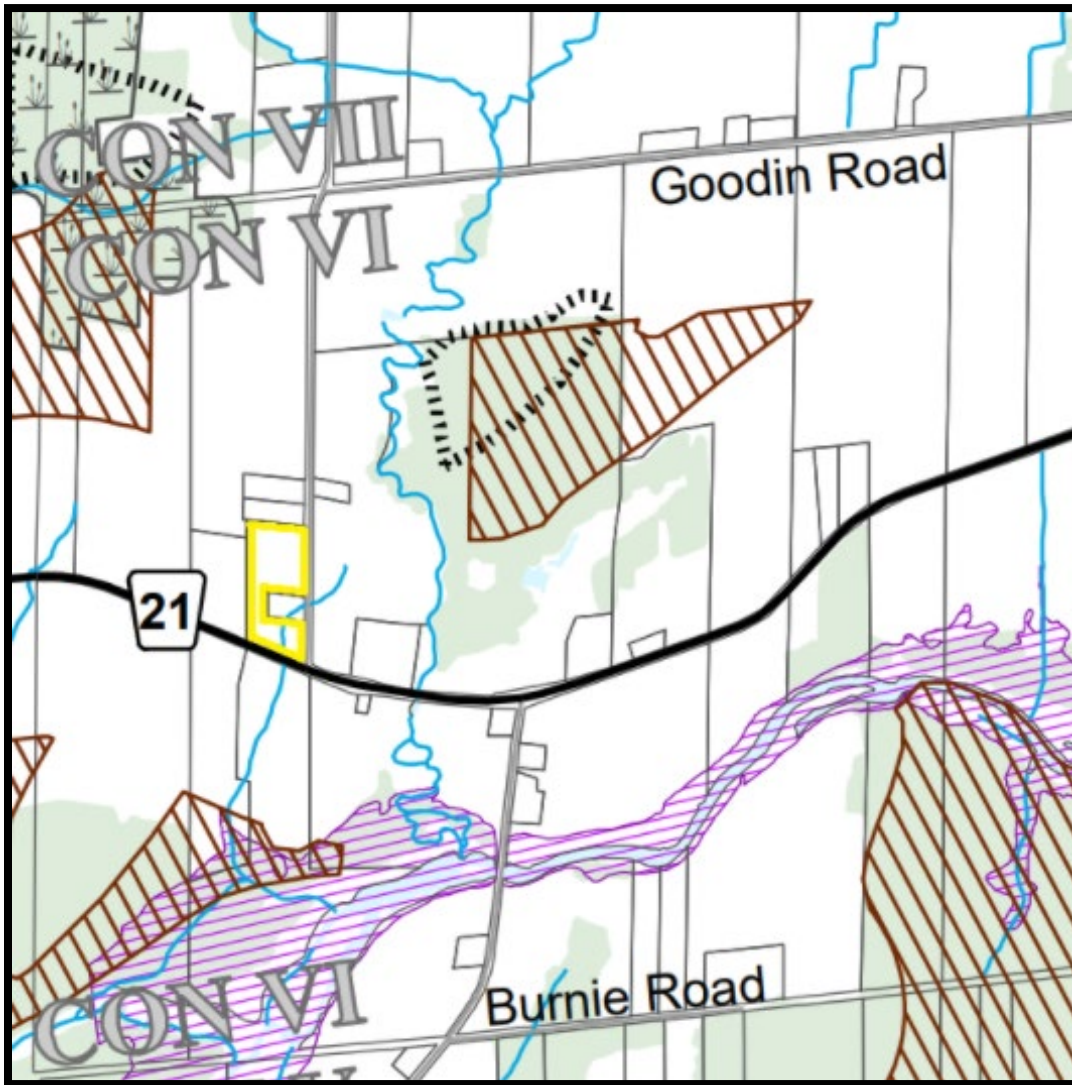
- Given the proposed severances for new lots and an addition to #6008 Hurley Road results in a cluster of four or more lots in close proximity, MDS calculations for nearby barns have been completed as Type B.
- Location of the watercourse, hydro servicing, and existing buildings are approximate and derived from available mapping. One shed on the property at #6008 Hurley Road falls within 3 metres of the interior side lot line and may require relocation to comply with setbacks.
- Boundary and dimensions of the subject property derived from Plan 15R-8000 completed by Collett, Jordan and Wiseman Ltd. in August of 1990. The recipient lot at #6008 Hurley Road is described as Part 1 on Plan 15R-5340 completed by Hazan Meldrum Ltd. in July of 1977.

Version Date: April 25, 2024

File No. 23-230 Drawn By: CC

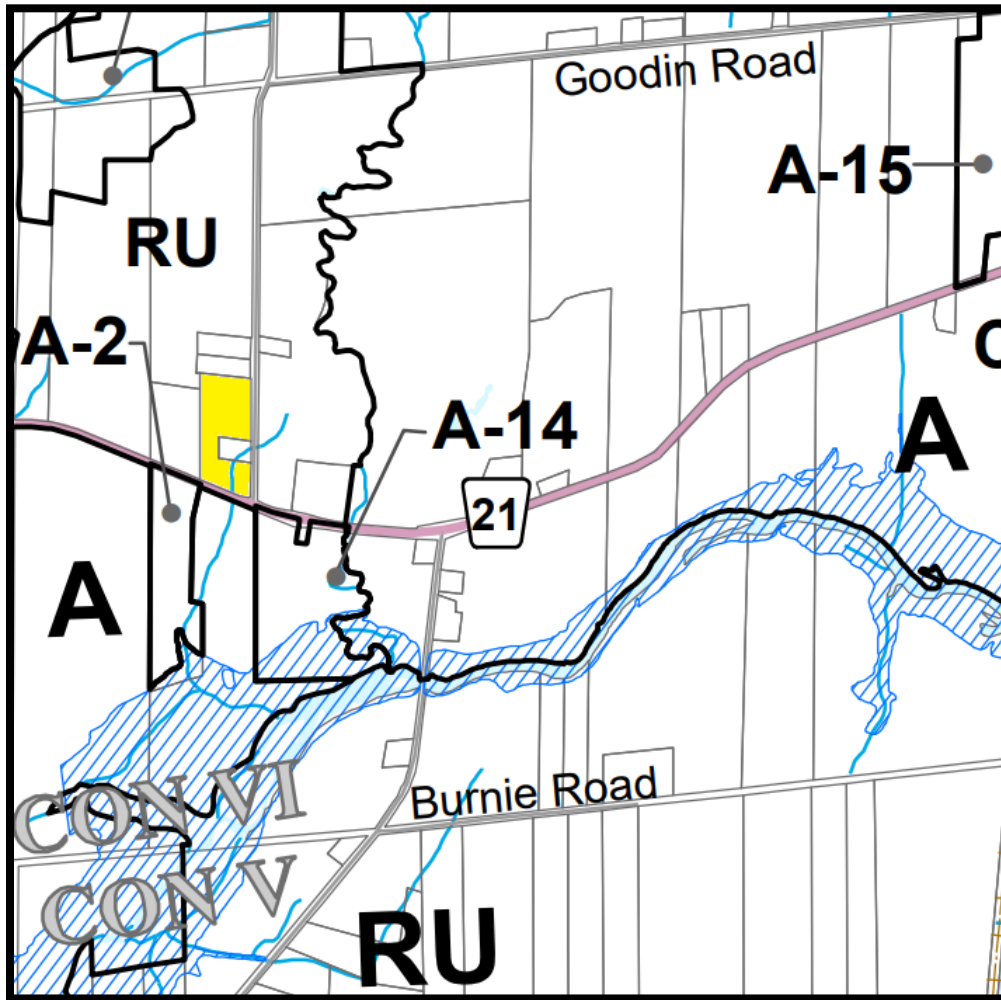
ZANDERPLAN
 Your rural land planning experts
 40 Sunset Boulevard, Perth, ON K7H 2Y4 613-264-9600





Excerpt of Township Official Plan - Schedule B

Boundary of Subject Land



Excerpt of Township Zoning Bylaw - Schedule A

Subject Land



TOWNSHIP OF EDWARDSBURGH CARDINAL ACTION ITEM

Committee: Council

Date: August 26, 2024

Department: Community Development

Topic: Site Plan Control Agreement, Annable Designs o/b Denis Simard (161-163 Shanly Road)

Purpose: To review a site plan control agreement for development at 161-163 Shanly Road which includes the demolition of some existing structures; establishing a new parking area and entrance at the rear of the site; and new privacy fencing. The application relates only to the retained parcel of consent file B-82-23, with the purpose of clearing condition #3 of the Counties decision dated October 11, 2023.

Background: The subject property is approximately 1242m² in area with 20m of frontage on Shanly Road. The property will also have 23m adjacent to Marjorie Street upon completion of the severance. The property is home to an existing commercial building with attached quonset; an accessory structure; and a single dwelling that is connected to the commercial building.

It is understood from the site plan provided that the accessory structure and a portion of the quonset is planned to be demolished, as well as the covered walkway connecting the residential building to the commercial building.

The land is zoned General Commercial-4 (CG-4), as per zoning bylaw amendment 2024-24 that was adopted by Council in May this year. The CG-4 zone limits the permitted uses and includes exceptions to the CG zone provisions related to the existing dwelling, lot coverage, parking, driveway access, and screening requirements. A copy of 2024-24 is attached to this report. The proposed use of the buildings is described in the attached cover letter provided by the applicant.

Privacy Screening

The cover letter expresses concerns regarding the CG-4 zoning, which requires screening where a parking area is located closer than 3m to a lot line abutting a residential zone. The applicant shares that the owner of 165 Shanly Rd would prefer not to have the screening in place so that the shared use and maintenance of the parking area could continue.

As discussed with the applicant, relief from the zoning bylaw would be necessary to remove the requirement for a fence for the proposed development. The approved site plan demonstrates compliance with the zoning bylaw, as amended. The proposed agreement clarifies that an application to amend the site plan will not be required to remove the fence if compliance is achieved (through a minor variance).

Demolition

An Environmental Site Assessment, prepared by St. Lawrence Testing recommends that the floor and ceiling tiles be tested for asbestos prior to beginning any demolition work. The applicant has been advised that a designated substance report shall be provided to the Chief Building Official prior to any building (demolition) permit being issued.

Servicing

During a site visit, our Environmental Services department advised that the commercial portion of the existing building is not serviced. The applicant has been advised that plumbing for the commercial use would need to be installed here by the owner/developer.

Policy Implications: Council has delegated authority of site plan control approvals to the CAO by bylaw 2022-39, as required by the *Planning Act* s.41(4.0.1).

Our Site Plan Control Bylaw 2023-47 provides that applicants may be required to enter into an agreement with the Township to ensure development proceeds in accordance with the approved plans and drawings, and to ensure the provision of certain items, in accordance with the *Planning Act* section 41(7). Such an agreement may be registered against the land to which it applies.

The site plan was approved on August 22, with the condition that the applicant enters into a Site Plan Control Agreement with the Township and that the agreement is registered to the property.

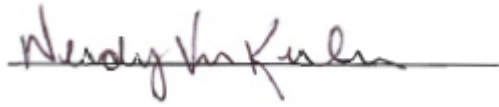
A draft agreement is provided further in this agenda package for Council's review.

Strategic Plan Implications: Growth and Economic Development is one of six pillars of the Township's Strategic Plan. The objectives within this pillar demonstrate Council's commitment to driving economic progress, including housing availability.

The proposal also helps to create a Liveable Community, which is another pillar of the Strategic Plan. New development on this under-utilized site will result in a new commercial business and community improvements.

Financial Considerations: The applicant has remitted the required deposit fee for site plan control to the Township.

Recommendation: THAT Municipal Council enter into a site plan control agreement with Denis Simard, as attached.

A handwritten signature in dark ink, appearing to read "Nereida V. Kuehn", is written over a solid horizontal line.

Community Development Coordinator



August 22, 2024

Denis Simard
PO Box 640
163 Shanly Road
Cardinal ON K0E 1E0

By Email: novanunavut@gmail.com

RE: Notice of Decision for Site Plan Control Application
Part 1 of 15R-12378

Dear Mr. Simard;

Pursuant to subsection 41(4) of the Planning Act, I am pleased to inform you that your application for site plan control for the above-mentioned property, which was deemed a complete application on August 16, 2024, has received **conditional approval** by the Township of Edwardsburgh Cardinal on August 22, 2024.

Conditions

The following conditions of approval must be carried out prior to any development, as defined by bylaw 2023-47, on this property.

1. That the property owner enter into an agreement with the Township, ensuring that development and maintenance of the property proceeds in accordance with the approved plans and drawings, and dealing with the works required by the Township in accordance with the Township's Site Plan Control Bylaw 2023-47.
2. The agreement shall be registered against the land to which it applies and the municipality is entitled to enforce the provisions thereof against the owner and, subject to the provisions of the Registry Act and the Land Titles Act, any and all subsequent owners of the land.

A draft copy of the agreement has been provided for your review and is attached to this notice. We welcome further communication if you have any concerns about any of the provisions in the agreement. Please contact our Community Development



EDWARDSBURGH CARDINAL

Phone: 613-658-3055
Fax: 613-658-3445
Toll Free: 866-848-9099
E-mail: mail@twpec.ca

P.O. Box 129,
18 Centre St.
Spencerville, Ontario
K0E 1X0

Coordinator with any questions or concerns at vvankeulen@twpec.ca. The site plan control agreement is subject to the approval of Council.

Approval of the application shall not be deemed to exempt any person from the requirement to obtain permits or approvals under any other legislation nor exempt any person from complying with any requirement set out in the Township's Zoning Bylaw.

The required fee of \$1,000.00 was received by the Township on July 17, 2024. Any additional fees related to the processing of this application and registration of the site plan control agreement will be billed to you at the above address in accordance with the Township's Planning Fees Bylaw 2022-40.

Thank you for choosing Edwardsburgh Cardinal to build or expand your business. We wish you great success in the development and future growth of Boulder Designs. Please do not hesitate to reach out to our office if you have any questions.

Sincerely,

Sean Nicholson
CAO, Township of Edwardsburgh Cardinal

CC: dave@annabledesigns.ca

Attached: Draft Site Plan Control Agreement
Site Plan Control Approval Process
Site Plan Control Bylaw 2023-47

THE ORIGINAL CO.
Annable Designs

RESIDENTIAL DESIGN - CONSULTING - PLANNING

EST. 2012

224 King Street West, Brockville, Ontario, K6V 3R8
www.AnnableDesign.ca Tel: 613-926-5350

COPY

Attn: TWPEC Planning Department

Job Ref: ADco-1722

Re: Supporting Comments from Land Owner, Denis Simard
for Site Plan Control Application at 161-163 Shanly Road

(1) Fencing per CG-4 abutting Residential Lots;

The only two areas on my retained portion that has parking abutting a residential area is the parking in front of 163 that abuts 165. ? I have no problems with the fence but it will really affect his parking abilities and winter snow removal. I have allowed him to park overnight in the area adjacent to his parking space since I have owned the property as well as helped with his snow clearing while doing mine as his parking is really small and tight. Prevailing winter winds are sure to create a mess for him in the winter and I am not sure what he will do with the snow accumulation if a fence hinders its removal. Neither would be able to be allowed by us to continue if a fence or obstruction is in place.

**per Email received by Annable Designs Co Ltd from Denis Simard, July 4th, 2024.*



(2) Refuse On Site;

I don't expect refuse to be stored on my commercial side of the site. The residential component will access the municipal system for waste removal and the commercial side produces about a wheelbarrow full a week and will use the box of one of its vehicles until delivered to the waste handling facility.

**per Email received by Annable Designs Co Ltd from Denis Simard, July 4th, 2024.*

(3) Site Use and Occupancy;

The residential component will be updated but will remain pretty much what was existing on my acquisition of the property which was a 2-bedroom residential rental unit in the front connected to the rear by a walkway through a utility room. The rear was a 2-bedroom unit occupied by the previous owner. Both of these were preexisting but no one, previous owner of township, could demonstrate they had been previously approved as legally non-conforming hence the reason for the zoning and usage changes. What we anticipate is ensuring the rear unit is adapted to become a barrier free unit to be occupied by the owner. The area is on one level not requiring ramps or aids to get into. The owner's wife is wheelchair bound and requires daily support to meet her medical requirements hence the need to use the front unit as a caregiver suite.

The entire cinder block building area is currently used for our custom manufacturing area and will continue to be used as such for the foreseeable future.

The Quonset is also used for our custom manufacturing. However, the space currently exceeds our requirements at present, and we will be renting 800 sqft of space to a local tradesperson. All of his commercial activities are delivered off site. He will be using the area and equipment to maintain his fleet of equipment as well as ours. The lease will be year to year to ensure as we grow I can access the space we require until the area is fully occupied by us alone.

**per Email received by Annable Designs Co Ltd from Denis Simard, July 5th, 2024.*

If you have any questions, please contact us directly. Thank you.

Sincerely;



David T. Annable
President / Lead Designer
info@annabledesigns.ca



UNITED COUNTIES OF LEEDS AND GRENVILLE CONSENT GRANTING AUTHORITY

DECISION

APPLICATION B-82-23

We the undersigned members of the Consent Granting Authority of the United Counties of Leeds and Grenville; do hereby certify that the following is a decision reached by us at a hearing held at the Counties Offices, 25 Central Avenue, Brockville, Ontario on **October 11, 2023**. The said decision was reached on the application of **Denis Simard** to sever a parcel of land being; Lots 363, 364, 373 & 374, Registered Plan No. 25, Cardinal; **Township of Edwardsburgh Cardinal** having dimensions of approximately 23.73 metres by 73.67 metres with an area of 0.18 hectares.

DECISION: **GRANTED** providing the conditions as stated below are met.

REASONS:

Division of land is compatible with the intent and purpose of the Official Plan and meets the criteria in Section 51 (24) of the Planning Act providing conditions are met.

EFFECT OF WRITTEN SUBMISSIONS ON THE DECISION:

One written comment was submitted by a member of the public on this consent application to the approval authority. There were concerns about parking, placement of the downspouts from the eavestrough on a new building and the potential noise. All written comments were considered by the Consent Granting Authority.

CONDITIONS:

- (1) That all conditions imposed in the granting of this decision be met and one (1) original paper copy and one (1) digital copy of the deposited reference plan of the subject lands, which conforms substantially with the application as submitted, and the instrument relating to the transaction (deed/transfer, Service Ontario parcel register, grant of right-of-way, etc.) be presented to the Secretary-Treasurer of the Consent Granting Authority for the Certificate of Consent no later than **October 12, 2025**.
- (2) That a zoning bylaw amendment is obtained to address lot coverage deficiencies and the existing single dwelling on the retained land; and establish an appropriate zone for the severed land, to the satisfaction of the Township.
- (3) That site plan approval be obtained from the Township for the retained land, through the site plan control process.
- (4) That the buildings and portions of the buildings identified to be removed on the consent application B-82-23 be demolished, to the satisfaction of the Township.
- (5) That road widening across the severed and retained parcel to 13.1 metres from existing centerline of the road allowance of County Road 22 (if required) be conveyed to the Corporation of the United Counties of Leeds and Grenville. Should sufficient road allowance exist, a letter from a surveyor and confirmation of registration from a lawyer would meet the Counties' condition. The lands to be transferred for road widening purposes shall be free and clear of all encumbrances. The deed for this road widening is to be registered and submitted to the Consent Granting Authority prior to endorsement on the deed to the severed land.
- (6) That written release of conditions 2, 3 and 4 from the Township be submitted to the Consent Granting Authority prior to endorsement of consent on the deed for the severed land.

NOTES:

- (1) The Township had no objection providing conditions 2, 3 and 4 are complied with.
- (2) South Nation Conservation had no objection.
- (3) County Roads Department had no objection providing condition 5 is complied with.

ADDITIONAL INFORMATION:

- You will be entitled to receive notice of any changes to the conditions of the provisional consent if you have made a written request to be notified of changes to the conditions of the provisional consent.

- Any appeal to the Ontario Land Tribunal must be received by the Secretary-Treasurer of the Consent Granting Authority at the United Counties of Leeds & Grenville no later than the appeal date of this notice and it must:
 - Set out the reasons for the appeal; and,
 - Be accompanied by the fee charged under the Ontario Land Tribunal Act.

I hereby certify this to be a true and exact copy



Chair



Secretary-Treasurer

This Decision was mailed on October 12, 2023

The last date for appealing this decision is November 1, 2023

THE CORPORATION OF THE
TOWNSHIP OF EDWARDSBURGH CARDINAL

BY-LAW NO. 2024-24

"BEING A BYLAW TO AMEND ZONING BY-LAW NO. 2022-37"

**Annable Designs Co. Ltd & Fotenn Consultants Inc. on behalf of Denis Simard
Lot 374 & Part of Lots 363, 364, 372, 373, 375, 376, 377 of Plan 25
161-163 Shanly Road, Cardinal ON**

WHEREAS By-law No. 2022-37 regulates the use of land and the use and erection of buildings and structures within the Township of Edwardsburgh Cardinal;

AND WHEREAS the Council of the Corporation of the Township of Edwardsburgh Cardinal deems it advisable to amend By-law No. 2022-37 as hereinafter set forth;

NOW THEREFORE the Council of the Corporation of the Township of Edwardsburgh Cardinal enacts as follows:

1. The lands affected by this By-law are shown as shaded and outlined by heavy black lines on Schedule "A" which is attached hereto and forms part of this By-law.
2. Zoning By-law No. 2022-37, as amended, is hereby further amended by adding the following new subsection at the end of Section 6.3.4 (Special Exception Zones):

8. R3-8 (161-163 Shanly Road, Village of Cardinal)

Notwithstanding the provisions of Section 3.14 and Section 6.3.2 to the contrary, on the lands zoned R3-8, the following provisions shall apply to an apartment dwelling:

Zone Requirements:

- Lot Frontage (minimum) 22 m
- Dwelling Units (maximum) 12
- The lot line abutting Adelaide Street shall be considered the front lot line.

Notwithstanding the provisions of Section 3.14.8.2.2, the minimum setback of a parking area (including parking spaces and access aisles) to a lot line abutting a residential zone shall be 0m. Where a parking area is located less than 3m from a lot line abutting a residential zone, an opaque fence or landscaping having a minimum height of 1.5m shall be provided.

Notwithstanding the provisions of Section 3.14.7, a parking surface area shall be maintained with a stable hard surface such as concrete or asphalt.

3. Zoning By-law No. 2022-37, as amended, is hereby further amended by adding the following new subsection at the end of Section 8.1.4 (Special Exception Zones):

4. CG-4 (161-163 Shanly Road, Village of Cardinal)

Notwithstanding the provisions of Section 3.14, Section 8.1.1 and Section 8.1.2 to the contrary, on the lands zoned CG-4, the following provisions shall apply:

Permitted uses shall be limited to the following:

Residential Uses:

- accessory dwelling
- accessory dwelling unit
- single dwelling

Non-residential Uses:

- antique shop
- catering establishment
- custom workshop
- equipment rental outlet
- personal service
- printing establishment
- professional or business office
- service outlet
- tradesperson's establishment

Zone Requirements:

- Lot Coverage (maximum) 45%
- Number of Parking Spaces Non-residential Uses (minimum) 9
- Number of Parking Spaces Residential Uses (minimum) 1 per dwelling unit
- Driveway Width – Abutting Marjorie Street (maximum) 13 m
- The lot line abutting Shanly Road (County Road 2) shall be considered the front lot line.

Notwithstanding the provisions of Section 3.14.8.2.2, the minimum setback of a parking area (including parking spaces and access aisles) to a lot line abutting a residential zone shall be 0m. Where a parking area is located less than 3m from a lot line abutting a residential zone an opaque fence or landscaping having a minimum height of 1.5m shall be provided.

Notwithstanding the provisions of Section 3.14.7, a parking surface area shall be maintained with a stable hard surface such as concrete or asphalt.

4. Schedule "B" to Zoning By-law No. 2022-37, as amended, is hereby further amended by changing the zoning of the lands affected by this By-law from "CG" to "R3-8" and "CG-4".
5. The By-law shall become effective on the date of passing hereof, subject to the provisions of Section 34 (21) of the *Planning Act*, R.S.O. 1990, as amended.

Read a first and second time in open Council this 13 day of May, 2024.

Read a third and final time, passed, signed and sealed in open Council this 13 day of May, 2024.


 Mayor Tory Deschamps (May 19, 2024 09:44 EDT)

Mayor

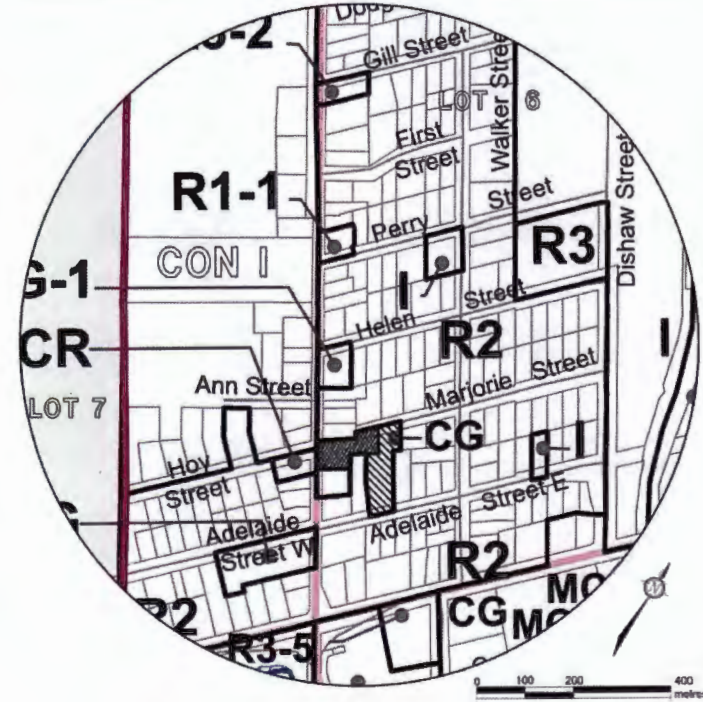


Clerk

Schedule "A" to By-law No. 2024-24

TOWNSHIP OF EDWARDSBURGH CARDINAL

Annable Designs Co. Ltd & Fotenn Consultants Inc. on behalf of Denis Simard
 Lot 374 & Part of Lots 363, 364, 372, 373, 375, 376, 377 of Plan 25
 161-163 Shanly Road, Cardinal ON

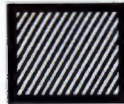


AREA(S) SUBJECT TO THIS BY-LAW



TO: RESIDENTIAL THIRD DENSITY – SPECIAL EXCEPTION 8 (R3-8) ZONE

FROM: GENERAL COMMERCIAL (CG) ZONE



TO: GENERAL COMMERCIAL – SPECIAL EXCEPTION 4 (CG-4) ZONE

FROM: GENERAL COMMERCIAL (CG) ZONE



TOWNSHIP OF EDWARDSBURGH CARDINAL ACTION ITEM

Committee: Council

Date: August 26, 2024

Department: Community Development

Topic: Site Plan Control Agreement, 2506418 Ontario Inc (Purplefarm Genetics)

Purpose: To review a site plan control agreement for the development of a 1579m² warehouse and a gravel parking area on Newport Drive for Purplefarm Genetics.

Background: The subject property is approximately 1.13ha in area with 70m of frontage on Newport Drive, also adjacent to County Road 2. The property is within the Township's Industrial Park Policy Area. The site is currently undeveloped.

The proposed warehouse will be used for storage and distribution of product from the adjacent cannabis production and processing facility of the same company. Proposed development also includes a gravel parking/loading area, stormwater management basin, and fire hydrant. The site will be serviced by municipal water and wastewater services.

An application was submitted for site plan control, including:

- Erosion control plan
- Site and servicing plan
- Grading and servicing plan
- Stormwater management report

Site Plan

The site plan provided meets the provisions of the Business Park Industrial (MBP) zone and includes sufficient parking and loading spaces to accommodate the proposed use. The site will be accessed from Newport Drive.

Servicing

The new building will be connected to existing municipal water main and sanitary sewers from the north side of County Road 2. The expected daily flows equate to 3,300 L/day.

Fire Suppression

A new fire hydrant is proposed near the southwest corner of the building, approximately 26m from the building entrance.

Stormwater Management

The storm design will allow for surface water to flow easterly to a swale and stormwater basin at the southeast corner of the site. The site is designed to meet quality and quantity standards for stormwater discharge. The report provides that the Counties infrastructure will not be negatively impacted by post-development flows.

Policy Implications: Council has delegated authority of site plan control approvals to the CAO by bylaw 2022-39, as required by the *Planning Act* s.41(4.0.1).

Our Site Plan Control Bylaw 2023-47 provides that applicants may be required to enter into an agreement with the Township to ensure development proceeds in accordance with the approved plans and drawings, and to ensure the provision of certain items, in accordance with the *Planning Act* section 41(7). Such an agreement may be registered against the land to which it applies.

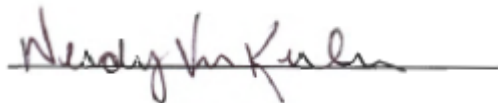
The site plan was approved on August 22, with the condition that the applicant enters into a Site Plan Control Agreement with the Township and that the agreement is registered to the property.

A draft agreement is provided further in this agenda package for Council's review. The agreement incorporates timelines that are consistent with the Option to Repurchase Agreement authorized by bylaw 2023-55.

Strategic Plan Implications: Growth and Economic Development is one of six pillars of the Township's Strategic Plan. The objectives within this pillar demonstrate Council's commitment to driving economic progress, including expansions to our Industrial Park.

Financial Considerations: The applicant has remitted the required fee deposit for site plan control to the Township.

Recommendation: THAT Municipal Council enter into a site plan control agreement with 2506418 Ontario Inc., as attached.



Community Development Coordinator

August 22, 2024

2506418 Ontario Inc.
c/o Mitchell Alswiti
9 Newport Drive
Johnstown ON K0E 1T1

By Email: mitchell@purplefarmgenetics.com

RE: Notice of Decision for Site Plan Control Application

**PT LT A PL 90 EDWARDSBURGH PARTS 1, 2, 3, & 4 ON 15R11896; S/T AN
EASEMENT OVER PART 3 & 4 ON 15R-11896 AS IN PR28293; TOWNSHIP
OF EDWARDSBURGH/CARDINAL**

Dear Mr. Alswiti;

Pursuant to subsection 41(4) of the Planning Act, I am pleased to inform you that your application for site plan control for the above-mentioned property, which was deemed a complete application on August 7, 2024, has received **conditional approval** by the Township of Edwardsburgh Cardinal on August 22, 2024.

Conditions

The following conditions of approval must be carried out prior to any development, as defined by bylaw 2023-47, on this property.

1. That the property owner enter into an agreement with the Township, ensuring that development and maintenance of the property proceeds in accordance with the approved plans and drawings, and dealing with the works required by the Township in accordance with the Township's Site Plan Control Bylaw 2023-47.
2. The agreement shall be registered against the land to which it applies and the municipality is entitled to enforce the provisions thereof against the owner and, subject to the provisions of the Registry Act and the Land Titles Act, any and all subsequent owners of the land.

A draft copy of the agreement has been provided for your review and is attached to this notice. We welcome further communication if you have any concerns about any



EDWARDSBURGH CARDINAL

Phone: 613-658-3055
Fax: 613-658-3445
Toll Free: 866-848-9099
E-mail: mail@twpec.ca

P.O. Box 129,
18 Centre St.
Spencerville, Ontario
K0E 1X0

of the provisions in the agreement. Please contact our Community Development Coordinator with any questions or concerns at vvankeulen@twpec.ca. The site plan control agreement is subject to the approval of Council.

Approval of the application shall not be deemed to exempt any person from the requirement to obtain permits or approvals under any other legislation nor exempt any person from complying with any requirement set out in the Township's Zoning Bylaw.

The required fee of \$1,750.00 was received by the Township on July 30, 2024. Any additional fees related to the processing of this application and registration of the site plan control agreement will be billed to you at the above address in accordance with the Township's Planning Fees Bylaw 2022-40.

Thank you for choosing Edwardsburgh Cardinal to build or expand your business. We wish you great success in the development and future growth of Purplefarm Genetics. Please do not hesitate to reach out to our office if you have any questions.

Sincerely,

Sean Nicholson
CAO, Township of Edwardsburgh Cardinal

CC: cjardine@easteng.com

Attached: Draft Site Plan Control Agreement
Site Plan Control Approval Process
Site Plan Control Bylaw 2023-47

TOWNSHIP OF EDWARDSBURGH CARDINAL

August 26, 2024

Resolution Number: 2024- _____

Moved By: _____

Seconded By: _____

COPY

WHEREAS on March 22, 2022, the Federal and Provincial Governments announced a funding agreement that will reduce the cost of child care in Ontario to an average of \$10 per day by 2025-2026; and

WHEREAS the For-Profit / Not-For-Profit quotas [30/70] mandated in the agreement artificially limits the number of licences that can be given out and therefore limits the child care spaces that can be created; and

WHEREAS families are being forced to wait for \$10 per day childcare even though there is unspent budget for unrealized Not-For-Profit centres due to a lack of Not-For-Profits applying; and

WHEREAS changing the ratios could unlock thousands of new \$10 per day childcare spaces immediately.

NOW THEREFORE BE IT RESOLVED THAT the Municipal Council of the Township of Edwardsburgh Cardinal hereby requests the Federal and Provincial Governments to fix the archaic For-Profit/Not-For-Profit quotas in the agreement;

AND FURTHER THAT Mayor Tory Deschamps writes a letter on behalf of the Corporation of the Township of Edwardsburgh Cardinal to the Association of Municipalities of Ontario (AMO) and the Federation of Canadian Municipalities (FCM) asking them to advocate for the change to the For-Profit / Not-For-Profit ratios;

AND FURTHER THAT this resolution be circulated and brought to the attention of Michael Barrett, Member of Parliament, Leeds-Grenville-Thousand Islands and Rideau Lakes; The Honourable Jenna Suds, Minister of Families, Children and Social

Carried Defeated Unanimous

Mayor: _____

RECORDED VOTE REQUESTED BY: _____		
NAME	YEA	NAY
Councillor J. Martelle		
Councillor W. Smail		
Councillor C. Ward		
Deputy Mayor S. Dillabough		
Mayor T. Deschamps		
TOTAL		

TOWNSHIP OF EDWARDSBURGH CARDINAL

August 26, 2024

Resolution Number: 2024- _____

Moved By: _____

Seconded By: _____

COPY

Development; The Right Honourable Justin Trudeau, Prime Minister of Canada; Steve Clark, Member of Provincial Parliament, Leeds-Grenville-Thousand Islands and Rideau Lakes; The Honourable Jill Dunlop, Minister of Education; and The Honourable Doug Ford, Premier of Ontario.

Carried Defeated Unanimous

Mayor: _____

RECORDED VOTE REQUESTED BY: _____		
NAME	YEA	NAY
Councillor J. Martelle		
Councillor W. Smail		
Councillor C. Ward		
Deputy Mayor S. Dillabough		
Mayor T. Deschamps		
TOTAL		

TOWNSHIP OF EDWARDSBURGH CARDINAL

August 26, 2024

COPY

Resolution Number: 2024- _____

Moved By: _____

Seconded By: _____

WHEREAS the Government of Canada through Transport Canada’s Grade Crossings Regulations SOR/2014-275, as amended, specifically Section 75 regarding private grade crossings requires that existing grade crossings that is a private grade crossing must meet additional requirements outlined in the regulation beginning on November 28, 2024; and

WHEREAS due to these amendments to the Grade Crossings Regulations will require significant safety enhancements for specific private railway crossings, including those located on private properties within the Township of Edwardsburgh Cardinal; and

WHEREAS CN Rail is actively seeking an exemption for the private grade crossings for relief from the requirements of these regulations; and

WHEREAS if Transport Canada does not support the exemption request, the private property owners with private grade crossings will be mandated to complete the upgrades, including the installation of an automated warning system with gates; and

WHEREAS CN Rail estimates that the necessary upgrades may cost each private railway crossing owner upwards of between \$600,000 to \$2 million depending on the cost of installation of each automatic gate system and additional annual maintenance costs of \$9,685 for the required equipment pursuant to the Canadian Transportation Agency’s Guide to Railway Charges for Crossing Maintenance and Construction.

NOW THEREFORE BE IT RESOLVED THAT the Municipal Council of the Corporation of the Township of Edwardsburgh Cardinal urges Transport Canada to reconsider the amendments to the Grade Crossing Regulations SOR/2014-275 due to the financial

Carried **Defeated** **Unanimous**

Mayor: _____

RECORDED VOTE REQUESTED BY: _____

NAME	YEA	NAY
Councillor J. Martelle		
Councillor W. Smail		
Councillor C. Ward		
Deputy Mayor S. Dillabough		
Mayor T. Deschamps		
TOTAL		

TOWNSHIP OF EDWARDSBURGH CARDINAL

August 26, 2024

Resolution Number: 2024- _____

Moved By: _____

Seconded By: _____

COPY

challenges these required upgrades to each private railway crossing will have on private property owners across Canada.

AND FURTHER THAT the Municipal Council of the Corporation of the Township of Edwardsburgh Cardinal supports CN Rail's continued requests to Transport Canada to obtain exemptions for private railway crossing upgrades.

AND FURTHER THAT this resolution be circulated and brought to the attention of Michael Barrett, Member of Parliament, Leeds-Grenville-Thousand Islands and Rideau Lakes; Steve Clark, Member of Provincial Parliament, Leeds-Grenville-Thousand Islands and Rideau Lakes; The Right Honourable Justin Trudeau, Prime Minister of Canada; The Honourable Doug Ford, Premier of Ontario; The Honourable Pablo Rodriguez, Minister of Transport of Canada; ROMA and AMO.

Carried Defeated Unanimous

Mayor: _____

RECORDED VOTE REQUESTED BY: _____

NAME	YEA	NAY
Councillor J. Martelle		
Councillor W. Smail		
Councillor C. Ward		
Deputy Mayor S. Dillabough		
Mayor T. Deschamps		
TOTAL		

Port of Johnstown – Action Item

Committee: Regular Council

Date: August 26, 2024

Division: Port of Johnstown

Topic: Assignment of lease

Purpose: To authorize the signing and execution of an assignment agreement.

Background:

The township of Edwardsburgh Cardinal owns the Port of Johnstown. Part of the Port’s portfolio includes leasing out their property to businesses and residential houses. These 20-year residential lease agreements have a current term that runs from October 1, 2014, to September 30, 2034. The land is owned by the Port (Township); however, the buildings are owned by the tenants. In July of 2024, the Port General Manager was approached by the tenants requesting a change to the names that are currently on the lease agreement. This requires an amendment to the current lease which includes an assignment of the lease from one party to the other. William and Jeff Berube were the tenants when the lease was originally signed in 2014, however, Jeff Berube has decided to sell his share of the building to his brother William Berube. William has therefore asked that Jeff’s name be taken off the lease agreement and replaced with his spouse Judy Berube. After seeking advice from the port’s solicitor, an assignment of the lease was prepared ensuring that the township’s best interests were considered. Both parties reviewed the assignment and have agreed to sign. As William Berube is already on the lease, the action item will recommend assigning the lease from Jeff Berube to Judy Berube. Once executed, William and Judy Berube will be the tenants on the lease. The legal document is being back dated to the date that Jeff sold his interest in the building as recommended by our solicitor.

Policy Implications: Agreements of this nature must be authorized by Council by-law.

Financial Considerations: All the terms of the original agreement remain in place.

Recommendations:

That Municipal Council approves the following:

- That an assignment of the current lease known as P-42 be completed which includes the removal of Jeff Berube from the lease and the addition of Judy Berube to the lease.
- That the assignment agreement be executed by the Port GM, the Mayor and CAO of the township.

Robert Dalley

TOWNSHIP OF EDWARDSBURGH CARDINAL

August 26, 2024

Resolution Number: 2024- _____

Moved By: _____

Seconded By: _____

COPY

THAT Municipal Council receives the correspondence listings for the following dates as previously circulated:

- July 25, 2024
- July 31, 2024
- August 7, 2024
- August 15, 2024
- August 21, 2024

Carried Defeated Unanimous

Mayor: _____

RECORDED VOTE REQUESTED BY: _____

NAME	YEA	NAY
Councillor J. Martelle		
Councillor W. Smail		
Councillor C. Ward		
Deputy Mayor S. Dillabough		
Mayor T. Deschamps		
TOTAL		

RESUMÉ

of *correspondence*

July 25th, 2024

FROM	DATE	SUBJECT
OCIA	July 17	OSCIA & LCFA's On-Farm Learning Day Invitation
AMO	July 18	Watchfile
SNC	"	Board Meeting Minutes - May and June 2024
County of Frontenac	July 19	Request Province to Recognize the Physician Shortage
UCLG	July 23	Economic Development eNews July 23 2024
Municipal Policing Bureau	"	OPP letter on new OPPA agreements
eTracks	"	Certificate of Appreciation – Responsible tire waste disposal
Town of Bradford West Gwillimbury	July 24	RES: Ontario Long Service Medals
AMO	July 25	Watchfile

RESUMÉ

of *correspondence*

July 31st, 2024

FROM	DATE	SUBJECT
TWP of Schreiber	July 30	RES: Wastewater Dechlorination
Municipality of Wawa	"	RES: Asset Retirement Obligations
AMO	"	2024 Bonus Programming: Added since you registered
SGCC	"	MP MPP Breakfast
AMO	"	Call to Action on Social and Economic Prosperity Review
TWP of North Dundas	July 31	RES: Recognize the Physician Shortage in TWP of ND
Municipality of Wawa	"	RES: Support for the Municipality of Tweed
Municipality of Wawa	"	RES: Importation & Safe Use of Lithium-ion Batteries- regulation
AMO	"	Municipal workforce development project roadmap
Health Unit	"	Lanark Horse tests positive: Eastern Equine Encephalitis Virus
Health Unit	"	Update on Proposed Merger

RESUMÉ

of *correspondence*

August 7th, 2024

FROM	DATE	SUBJECT
OEMC	July 31	OEMC 2024 - Today is LAST day to save on registration fees!
Health Unit	"	Update on Proposed Merger
TWPEC	Aug 1	Notice of Zoning Bylaw Amendment (Housekeeping)
AMO	"	Watchfile
Health Unit	"	Media Release: Take precautions during the hot/humid weather
City of Toronto	"	Correspondence from the City Clerk Ref.: 24-MM19.5
UCLG	Aug 2	Media Release - Touch-A-Truck Returns to Brockville in 2024
N/SGCC	Aug 6	Community Futures Grenville - August 2024 Newsletter
Health Unit	"	Health Unit school suspension letters going out this week
UCLG	"	Economic Development eNews August 6 2024
Health Unit	Aug 7	Ontario Transit Investment Fund-Survey
AMO	"	Policy Update

RESUMÉ

of *correspondence*

August 15th, 2024

FROM	DATE	SUBJECT
AMO	Aug 8	Watchfile
UCLG	"	Co-operative Housing Development Webinar - Aug 14 th : 1 p.m.
Brudenell, Lyndoch and Raglan TWP "		Letters of Support
AMO	Aug 12	Time to Register for AMO Education Fall Workshops
Town of Bradford West Gwillimbury "		RES: AMO and OMA Joint Health Resolution Campaign
UCLG	Aug 13	Media Release - Affordable Housing Development Lab
AMO	"	Policy Update - Homelessness and Opioids
CF Grenville	"	Invitation: CF Grenville Annual Meeting September 20
Ontario Liberal Party	Aug 14	Join Bonnie Crombie at The Ontario Liberal Reception

RESUMÉ

of *correspondence*

August 21st, 2024

FROM	DATE	SUBJECT
AMO	Aug 15	Watchfile
City of Quinte West	"	RES: The Canada Community-Building Fund
City of Cambridge	Aug 16	Correspondence from Mayor Jan Liggett
UCLG	"	Media Release: Supportive Housing Cabins Approved
UCLG	Aug 19	Media Release: Low-Cost Rabies Vacc. Clinics return Sept 11
Town of Grimsby	"	RES: Increasing Funding: Public Libraries/Community Museum
UCLG	Aug 20	Economic Development eNews August 20 2024
Spencerville Mill	"	Heritage Golf Tournament
MEOC	Aug 21	Round 2 of the Community Emergency Preparedness Grant

TOWNSHIP OF EDWARDSBURGH CARDINAL

August 26, 2024

Resolution Number: 2024- _____

Moved By: _____

Seconded By: _____

COPY

THAT Municipal Council receives and approves the payment of Port invoices circulated and numbered as follows:

Withdrawals Total:	\$140,964.49
Batch 23 Cheques	\$26,655.25
Batch 24 EFT Payments	\$870,337.56
Total of Direct Withdrawal & Batch Listings:	\$1,037,957.30

Carried Defeated Unanimous

Mayor: _____

RECORDED VOTE REQUESTED BY: _____		
NAME	YEA	NAY
Councillor J. Martelle		
Councillor W. Smail		
Councillor C. Ward		
Deputy Mayor S. Dillabough		
Mayor T. Deschamps		
TOTAL		

THAT Council of the Township of Edwardsburgh Cardinal approves payment of Port invoices circulated and numbered as follows:

- Withdrawals \$140,964.49

TOTAL \$140,964.49

- Batch 23 Cheques \$26,655.25

- Batch 24 EFT'S \$870,337.56

TOTAL \$896,992.81

TOTAL OF DIRECT WITHDRAW & BATCH LISTINGS \$1,037,957.30

PORT OF JOHNSTOWN

Listing of Montly Direct withdrawl Payments for the Port of Johnstown - August 26, 2024
 For approval by Council

	Month	Amount	Withdrawl Date
Payroll Taxes	July 15-31	\$25,804.16	02-Aug
Payroll Taxes	Aug 1-14	\$25,518.73	12-Aug
Payroll Taxes	Aug 15-31	\$23,399.61	26-Aug
EHT	July	\$3,269.45	15-Aug
EHT	August	\$3,415.93	15-Sep
HST	July	return of \$202,423.07	Submitted Augst 19
SunLife	August	\$16,202.34	01-Aug
VISA - General Manager	July	\$467.14	12-Aug
VISA - Operations Manager - KS	July	\$0.00	
VISA - Operations Manager - MM	July	\$1,033.38	19-Aug
VISA- Office Manager	July	\$385.44	19-Aug
Hydro One	Jun 1- July 1	\$29,707.87	13-Aug
Hydro One	Jun 5-Jul 6	\$103.82	19-Aug
Enbridge	Jun 20- Jul 16	\$6,165.70	12-Aug
Bell	July	\$202.46	09-Aug credit for charges they charged in error
Cogeco	July	\$169.44	17-Aug
WSIB	July	\$5,119.02	30-Aug
	Total	\$140,964.49	

**PLEASE SIGN AND RETURN TO RHONDA
 THANKS**

A/P Batch Listing - Payment (APCBTCLZ)

From Batch Number [23] To [23]
 From Batch Date [08/20/2024] To [08/20/2024]
 Type [Entered, Imported, Generated, System, External]
 Status [Open, Ready To Post, Posted]
 Reprint Previously Printed Batches [Yes]
 Show Tax Details [Yes]
 Show Adjustment Details [Yes]
 Show Optional Fields [Yes]

CHEQUES

Batch No.: 23 Description: SYSTEM GENERATED PAYMENT BATCH Total Amount: 26,655.25
 Batch Date: 08/20/2024 Type: System Source Application: AP No. of Entries: 11
 Last Edited: 08/20/2024 Status: Open Bank: 01 No. of Checks Printed: 0

Entry No.: 1 System Generated Payment Document No.: PY000010286 Payment Amt.: 3,112.34

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: AJWA01 AJ'S WATER TREATMENT Account Set: TRADE JAN-AUG DRINKING WELL TESTING/MAINT.
 Payment Code: CHECK Payment Type: Check Check No.: 0

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
7289					0.00	0.00	0.00	3,112.34
Total :					0.00	0.00	0.00	3,112.34

Entry No.: 2 System Generated Payment Document No.: PY000010287 Payment Amt.: 6,195.89

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: BOBC01 Bobcat of Ottawa Valley Account Set: TRADE TELEHANDLER SNOW PUSHER - CAPITAL
 Payment Code: CHECK Payment Type: Check Check No.: 0

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
03-32596					0.00	0.00	0.00	6,195.89
Total :					0.00	0.00	0.00	6,195.89

Entry No.: 3 System Generated Payment Document No.: PY000010288 Payment Amt.: 169.50

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: BURC01 BURCHELL FENCING Account Set: TRADE REPAIR TO SECURITY GATE
 Payment Code: CHECK Payment Type: Check Check No.: 0

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
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A/P Batch Listing - Payment (APCBTCLZ)

Payment Code: CHECK Payment Type: Check Check No.: 0

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
2024 PORT DAY VOL.					0.00	0.00	0.00	250.00
Total :					0.00	0.00	0.00	250.00

Entry No.: 8 System Generated Payment Document No.: PY000010293 Payment Amt.: 2,147.18

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: JAYS01 JAY'S TIRE & REPAIR Account Set: TRADE BOBCAT TIRE REPAIR
 Payment Code: CHECK Payment Type: Check Check No.: 0

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
36501					0.00	0.00	0.00	2,147.18
Total :					0.00	0.00	0.00	2,147.18

Entry No.: 9 System Generated Payment Document No.: PY000010294 Payment Amt.: 250.00

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: SOUT11 SOUTH GRENVILLE DISTRICT HIGH SCHOOL Account Set: TRADE DONATION FOR PORT DAY PAINTING
 Payment Code: CHECK Payment Type: Check Check No.: 0

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
2024 PORT DAY VOL					0.00	0.00	0.00	250.00
Total :					0.00	0.00	0.00	250.00

Entry No.: 10 System Generated Payment Document No.: PY000010295 Payment Amt.: 300.00

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: SPEN01 SPENCERVILLE AGRICULTURAL SOCIETY Account Set: TRADE DONATION FOR CONVEYANCES PORT DAY
 Payment Code: CHECK Payment Type: Check Check No.: 0

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
2024 PORT DAY CONVEY.					0.00	0.00	0.00	300.00
Total :					0.00	0.00	0.00	300.00

Entry No.: 11 System Generated Payment Document No.: PY000010296 Payment Amt.: 250.00

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08

A/P Batch Listing - Payment (APCBTCLZ)

Vendor: UCFF01 UCFF
 Payment Code: CHECK Payment Type: Check

Account Set: TRADE SPONSORSHIP FOLKFEST
 Check No.: 0

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
2024-0S3					0.00	0.00	0.00	250.00
Total :					0.00	0.00	0.00	250.00

— Batch Summary —

	Invoice	Adjustment	Discount	Payment	Advance Credit	Bank Amount
Total for Batch 23:	0.00	0.00	0.00	26,655.25	0.00	26,655.25

11 entries printed

1 batch printed

A/P Batch Listing - Payment (APCBTCLZ)

From Batch Number [24] To [24]
 From Batch Date [08/20/2024] To [08/20/2024]
 Type [Entered, Imported, Generated, System, External]
 Status [Open, Ready To Post, Posted]
 Reprint Previously Printed Batches [Yes]
 Show Tax Details [Yes]
 Show Adjustment Details [Yes]
 Show Optional Fields [Yes]

EFT PAYMENTS

Batch No.: 24 Description: SYSTEM GENERATED PAYMENT BATCH Total Amount: 870,337.56
 Batch Date: 08/20/2024 Type: System Source Application: AP No. of Entries: 42
 Last Edited: 08/20/2024 Status: Open Bank: 01 No. of Checks Printed: 0

Entry No.: 1 System Generated Payment Document No.: PY000010297 Payment Amt.: 560.48

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: ABCF01 ABC FIRE PROTECTION INC. Account Set: TRADE ANNUAL FIRE EXTINGUISHER INSPECTION
 Payment Code: EFT Payment Type: Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
29055					0.00	0.00	0.00	560.48
Total :					0.00	0.00	0.00	560.48

Entry No.: 2 System Generated Payment Document No.: PY000010298 Payment Amt.: 11,366.91

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: ACKL01 ACKLANDS- GRAINGER INC Account Set: TRADE VARIOUS HOUSEKEEPING, SAFTEY INSPECTIONS AND
 Payment Code: EFT Payment Type: Other SAFETY SUPPLIES

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
9193058972					0.00	0.00	0.00	213.31
9193058980					0.00	0.00	0.00	15.66
9194650777					0.00	0.00	0.00	255.78
9195577169					0.00	0.00	0.00	8,287.37
9196315155					0.00	0.00	0.00	981.44
9198933302					0.00	0.00	0.00	108.48
9199870297					0.00	0.00	0.00	69.42
9200910892					0.00	0.00	0.00	118.29
9210496866					0.00	0.00	0.00	143.37
9215409625					0.00	0.00	0.00	34.47

A/P Batch Listing - Payment (APCBTCLZ)

9215892895				0.00	0.00	0.00	163.56
9216220054				0.00	0.00	0.00	758.47
9217464115				0.00	0.00	0.00	9.10
9218494608				0.00	0.00	0.00	208.19
Total :				<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>11,366.91</u>

Entry No.: 3 System Generated Payment **Document No.:** PY000010299 **Payment Amt.:** 107.30

Transaction Type: Payment **Payment Date:** 08/27/2024 **Posting Date:** 08/27/2024 **Year - Period:** 2024 - 08

Vendor: BEAC01 BEACH EQUIPMENT AND HARDWARE **Account Set:** TRADE **SHOP SUPPLIES**

Payment Code: EFT **Payment Type:** Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
922492-1					0.00	0.00	0.00	37.26
922753-1					0.00	0.00	0.00	70.04
Total :					<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>107.30</u>

Entry No.: 4 System Generated Payment **Document No.:** PY000010300 **Payment Amt.:** 299.25

Transaction Type: Payment **Payment Date:** 08/27/2024 **Posting Date:** 08/27/2024 **Year - Period:** 2024 - 08

Vendor: CENT02 CENTURY PUBLISHING CO. **Account Set:** TRADE **AGRI WEEKLY ONLINE RENEWAL**

Payment Code: EFT **Payment Type:** Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
2024/25 RENEWAL					0.00	0.00	0.00	299.25
Total :					<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>299.25</u>

Entry No.: 5 System Generated Payment **Document No.:** PY000010301 **Payment Amt.:** 38,369.45

Transaction Type: Payment **Payment Date:** 08/27/2024 **Posting Date:** 08/27/2024 **Year - Period:** 2024 - 08

Vendor: CGRC01 RECEIVER GENERAL FOR CANADA **Account Set:** TRADE **WEIGHING/INSPECTIONS ON VESSELS-BILLED BACK TO BROKERS OF GRAIN**

Payment Code: EFT **Payment Type:** Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
90307315					0.00	0.00	0.00	11,842.38
90308263					0.00	0.00	0.00	26,527.07
Total :					<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>38,369.45</u>

A/P Batch Listing - Payment (APCBTCLZ)

Entry No.: 6 System Generated Payment Document No.: PY000010302 Payment Amt.: 2,282.60

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: CLAR02 CLARKE CLEANING SERVICE Account Set: TRADE JUNE AND JULY HOUSEKEEPING
 Payment Code: EFT Payment Type: Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
2342					0.00	0.00	0.00	1,141.30
2343					0.00	0.00	0.00	1,141.30
Total :					0.00	0.00	0.00	2,282.60

Entry No.: 7 System Generated Payment Document No.: PY000010303 Payment Amt.: 807.95

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: CORN04 CORNERSTONES MANAGEMENT SOLUTION Account Set: TRADE HR SUPPORT FOR PAY EQUITY
 Payment Code: EFT Payment Type: Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
12674					0.00	0.00	0.00	807.95
Total :					0.00	0.00	0.00	807.95

Entry No.: 8 System Generated Payment Document No.: PY000010304 Payment Amt.: 324.91

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: CULL01 CULLIGAN OF OTTAWA Account Set: TRADE BOTTLED WTER JUGS
 Payment Code: EFT Payment Type: Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
41422TN					0.00	0.00	0.00	111.22
51480TN					0.00	0.00	0.00	102.47
62013TN					0.00	0.00	0.00	111.22
Total :					0.00	0.00	0.00	324.91

Entry No.: 9 System Generated Payment Document No.: PY000010305 Payment Amt.: 791.00

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: D&JT01 D&J TRANSPORTATION Account Set: TRADE DUST REMOVAL
 Payment Code: EFT Payment Type: Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
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A/P Batch Listing - Payment (APCBTCLZ)

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: FARM01 FARMERS FORUM Account Set: TRADE AUGUST ADVERTISING
 Payment Code: EFT Payment Type: Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
89167					0.00	0.00	0.00	357.11
Total :					0.00	0.00	0.00	357.11

Entry No.: 14 System Generated Payment Document No.: PY000010310 Payment Amt.: 11,435.57

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: FLEM01 FLEMING COMMUNICATIONS INC. Account Set: TRADE 2 NEW CAMERAS
 Payment Code: EFT Payment Type: Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
DS-IN000061659					0.00	0.00	0.00	11,435.57
Total :					0.00	0.00	0.00	11,435.57

Entry No.: 15 System Generated Payment Document No.: PY000010311 Payment Amt.: 133.49

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: FUTU02 FUTURE OFFICE PRODUCTS Account Set: TRADE COPIER CONTRACT
 Payment Code: EFT Payment Type: Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
FOP226336					0.00	0.00	0.00	133.49
Total :					0.00	0.00	0.00	133.49

Entry No.: 16 System Generated Payment Document No.: PY000010312 Payment Amt.: 1,808.00

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: GTRS01 GTR SCALES LTD. Account Set: TRADE SCALE GATE PROJECT - CAPITAL
 Payment Code: EFT Payment Type: Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
240709POJ					0.00	0.00	0.00	1,808.00
Total :					0.00	0.00	0.00	1,808.00

A/P Batch Listing - Payment (APCBTCLZ)

Entry No.: 17 System Generated Payment Document No.: PY000010313 Payment Amt.: 8,655.80

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: HOUS02 S. HOUSEMAN & ASSOCIATES Account Set: TRADE VARIOUS ENGINEERING - CAPITAL
 Payment Code: EFT Payment Type: Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
024-56					0.00	0.00	0.00	2,689.40
024-57					0.00	0.00	0.00	2,678.10
024-58					0.00	0.00	0.00	3,288.30
Total :					0.00	0.00	0.00	8,655.80

Entry No.: 18 System Generated Payment Document No.: PY000010314 Payment Amt.: 225.00

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: HOWA01 HOWARD CAMPBELL & SONS LTD. Account Set: TRADE PORTABLE TOILET RENTAL
 Payment Code: EFT Payment Type: Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
MR4111					0.00	0.00	0.00	225.00
Total :					0.00	0.00	0.00	225.00

Entry No.: 19 System Generated Payment Document No.: PY000010315 Payment Amt.: 2,124.40

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: HUDS01 G.C. HUDSON SUPPLY LIMITED Account Set: TRADE MANLIFT RENTAL
 Payment Code: EFT Payment Type: Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
390654					0.00	0.00	0.00	2,124.40
Total :					0.00	0.00	0.00	2,124.40

Entry No.: 20 System Generated Payment Document No.: PY000010316 Payment Amt.: 1,706.66

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: HWSU01 H W SUPPLIES Account Set: TRADE STEEL DUST SYSTEM PROJECT - CAPITAL
 Payment Code: EFT Payment Type: Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
220000016640					0.00	0.00	0.00	1,391.62

A/P Batch Listing - Payment (APCBTCLZ)

1364136				0.00	0.00	0.00	42.01
1364137				0.00	0.00	0.00	1,466.90
1364769				0.00	0.00	0.00	485.50
1364770				0.00	0.00	0.00	30.83
Total :				<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>4,142.48</u>

Entry No.: 24 System Generated Payment **Document No.:** PY000010320 **Payment Amt.:** 759.36
Transaction Type: Payment **Payment Date:** 08/27/2024 **Posting Date:** 08/27/2024 **Year - Period:** 2024 - 08
Vendor: LIME01 LIMERICK ENVIRONMENTAL SERVICES LTD. **Account Set:** TRADE **WASTE GRAIN REMOVAL**
Payment Code: EFT **Payment Type:** Other

<u>Document No.</u>	<u>Sched. No.</u>	<u>Adj. No.</u>	<u>Adj. Reference</u>	<u>Adj. Description</u>	<u>Adjustment</u>	<u>Discount</u>	<u>Tax Withheld</u>	<u>Amount</u>
2024-1358					0.00	0.00	0.00	759.36
Total :					<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>759.36</u>

Entry No.: 25 System Generated Payment **Document No.:** PY000010321 **Payment Amt.:** 530.23
Transaction Type: Payment **Payment Date:** 08/27/2024 **Posting Date:** 08/27/2024 **Year - Period:** 2024 - 08
Vendor: MACE01 MacEwen Petroleum Inc. **Account Set:** TRADE **DIESEL FUEL**
Payment Code: EFT **Payment Type:** Other

<u>Document No.</u>	<u>Sched. No.</u>	<u>Adj. No.</u>	<u>Adj. Reference</u>	<u>Adj. Description</u>	<u>Adjustment</u>	<u>Discount</u>	<u>Tax Withheld</u>	<u>Amount</u>
891111					0.00	0.00	0.00	530.23
Total :					<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>530.23</u>

Entry No.: 26 System Generated Payment **Document No.:** PY000010322 **Payment Amt.:** 1,864.50
Transaction Type: Payment **Payment Date:** 08/27/2024 **Posting Date:** 08/27/2024 **Year - Period:** 2024 - 08
Vendor: MARI02 Maritime Magazine **Account Set:** TRADE **SUMMER ADVERTISING**
Payment Code: EFT **Payment Type:** Other

<u>Document No.</u>	<u>Sched. No.</u>	<u>Adj. No.</u>	<u>Adj. Reference</u>	<u>Adj. Description</u>	<u>Adjustment</u>	<u>Discount</u>	<u>Tax Withheld</u>	<u>Amount</u>
MM-24-0091					0.00	0.00	0.00	1,864.50
Total :					<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>1,864.50</u>

Entry No.: 27 System Generated Payment **Document No.:** PY000010323 **Payment Amt.:** 830.44
Transaction Type: Payment **Payment Date:** 08/27/2024 **Posting Date:** 08/27/2024 **Year - Period:** 2024 - 08

A/P Batch Listing - Payment (APCBTCLZ)

Vendor: MOTI01 MOTION INDUSTRIES, INC. Account Set: TRADE MAINT. SUPPLIES
 Payment Code: EFT Payment Type: Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
ON17-00396268					0.00	0.00	0.00	785.96
ON17-00396269					0.00	0.00	0.00	44.48
Total :					0.00	0.00	0.00	830.44

Entry No.: 28 System Generated Payment Document No.: PY000010324 Payment Amt.: 10,787.96

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: NOBL01 NOBLE CORPORATION Account Set: TRADE
 Payment Code: EFT Payment Type: Other DUST SYSTEM PROJECT - CAPITAL

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
13370653-00					0.00	0.00	0.00	2,166.89
13375146-00					0.00	0.00	0.00	9,433.65
13375145-00					0.00	0.00	0.00	-812.58
Total :					0.00	0.00	0.00	10,787.96

Entry No.: 29 System Generated Payment Document No.: PY000010325 Payment Amt.: 27,873.30

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: OMER01 OMERS Account Set: TRADE
 Payment Code: EFT Payment Type: Other EMPLOYEE PENSION

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
JULY 2024 PENSION					0.00	0.00	0.00	27,873.30
Total :					0.00	0.00	0.00	27,873.30

Entry No.: 30 System Generated Payment Document No.: PY000010326 Payment Amt.: 4,956.78

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: ONSE01 ONSERVE Account Set: TRADE
 Payment Code: EFT Payment Type: Other MONTHLY IT MONITORING
 NEW ADMIN COMPUTER

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
67316					0.00	0.00	0.00	2,054.91
67380					0.00	0.00	0.00	2,901.87

A/P Batch Listing - Payment (APCBTCLZ)

Total : 0.00 0.00 0.00 4,956.78

Entry No.: 31 System Generated Payment Document No.: PY000010327 Payment Amt.: 270.14

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: PRES03 PRESCOTT BUILDING CENTRE Account Set: TRADE TIMBERS FOR HARBOUR
 Payment Code: EFT Payment Type: Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
2080829					0.00	0.00	0.00	164.96
2080860					0.00	0.00	0.00	105.18
Total :					0.00	0.00	0.00	270.14

Entry No.: 32 System Generated Payment Document No.: PY000010328 Payment Amt.: 1,730.31

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: PREV02 PREVENTION AND REGULATORY SOLUTION Account Set: TRADE HEALTH AND SAFETY
 Payment Code: EFT Payment Type: Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
815					0.00	0.00	0.00	1,730.31
Total :					0.00	0.00	0.00	1,730.31

Entry No.: 33 System Generated Payment Document No.: PY000010329 Payment Amt.: 1,439.54

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: PSAC01 PUBLIC SERV. ALLIANCE OF CAN. Account Set: TRADE JULY UNION DUES
 Payment Code: EFT Payment Type: Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
JULY 2024 DUES					0.00	0.00	0.00	1,439.54
Total :					0.00	0.00	0.00	1,439.54

Entry No.: 34 System Generated Payment Document No.: PY000010330 Payment Amt.: 168,467.89

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: ROSE01 ROSE MECH/2311812 ONTARIO INC. Account Set: TRADE RECEIVING AREA PROJECT - CAPITAL
 Payment Code: EFT Payment Type: Other

A/P Batch Listing - Payment (APCBTCLZ)

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
24-434					0.00	0.00	0.00	168,467.89
Total :					0.00	0.00	0.00	168,467.89

Entry No.: 35 System Generated Payment **Document No.:** PY000010331 **Payment Amt.:** 146.90
Transaction Type: Payment **Payment Date:** 08/27/2024 **Posting Date:** 08/27/2024 **Year - Period:** 2024 - 08
Vendor: SETS01 SOUTHEASTERN TELECOMMUNICATION **Account Set:** TRADE **SERVICE TO REPAIR VOICEMAIL ON EXT.**
Payment Code: EFT **Payment Type:** Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
49801					0.00	0.00	0.00	146.90
Total :					0.00	0.00	0.00	146.90

Entry No.: 36 System Generated Payment **Document No.:** PY000010332 **Payment Amt.:** 5,570.23
Transaction Type: Payment **Payment Date:** 08/27/2024 **Posting Date:** 08/27/2024 **Year - Period:** 2024 - 08
Vendor: SGSE01 SGS ELEVATORS **Account Set:** TRADE **MONTHLY MAINT.**
Payment Code: EFT **Payment Type:** Other **ANNUAL INSPECITON AS PER TSSA**

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
109938					0.00	0.00	0.00	1,366.63
109987					0.00	0.00	0.00	4,203.60
Total :					0.00	0.00	0.00	5,570.23

Entry No.: 37 System Generated Payment **Document No.:** PY000010333 **Payment Amt.:** 119.75
Transaction Type: Payment **Payment Date:** 08/27/2024 **Posting Date:** 08/27/2024 **Year - Period:** 2024 - 08
Vendor: SPEN07 SPENCERVILLE HOME HARDWARE **Account Set:** TRADE **GENERAL SUPPLIES**
Payment Code: EFT **Payment Type:** Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
86741					0.00	0.00	0.00	97.16
86855					0.00	0.00	0.00	22.59
Total :					0.00	0.00	0.00	119.75

Entry No.: 38 System Generated Payment **Document No.:** PY000010334 **Payment Amt.:** 232.78
Transaction Type: Payment **Payment Date:** 08/27/2024 **Posting Date:** 08/27/2024 **Year - Period:** 2024 - 08

A/P Batch Listing - Payment (APCBTCLZ)

Vendor: STJO02 ST. JOHN AMBULANCE Account Set: TRADE **BATTERY FOR ADMIN BUILDING AED**
 Payment Code: EFT Payment Type: Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
I-SJEOR-030987					0.00	0.00	0.00	232.78
Total :					0.00	0.00	0.00	232.78

Entry No.: 39 System Generated Payment Document No.: PY000010335 Payment Amt.: 318.59

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: TOML02 Tomlinson Environmental Services Ltd. Account Set: TRADE **WSTE GARBAGE REMOVAL**
 Payment Code: EFT Payment Type: Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
0000030647					0.00	0.00	0.00	318.59
Total :					0.00	0.00	0.00	318.59

Entry No.: 40 System Generated Payment Document No.: PY000010336 Payment Amt.: 13,020.00

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: TONY01 TONY COVILLE Account Set: TRADE **DUST SYSTEM PROJECT - CAPITAL**
 Payment Code: EFT Payment Type: Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
117					0.00	0.00	0.00	7,140.00
118					0.00	0.00	0.00	5,880.00
Total :					0.00	0.00	0.00	13,020.00

Entry No.: 41 System Generated Payment Document No.: PY000010337 Payment Amt.: 377.19

Transaction Type: Payment Payment Date: 08/27/2024 Posting Date: 08/27/2024 Year - Period: 2024 - 08
 Vendor: UNIV01 UNIVERSAL SUPPLY GROUP INC. Account Set: TRADE **GENERAL SUPPLIES**
 Payment Code: EFT Payment Type: Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
964-442795					0.00	0.00	0.00	377.19
Total :					0.00	0.00	0.00	377.19

A/P Batch Listing - Payment (APCBTCLZ)

Entry No.: 42 System Generated Payment **Document No.:** PY000010338 **Payment Amt.:** 1,891.53
Transaction Type: Payment **Payment Date:** 08/27/2024 **Posting Date:** 08/27/2024 **Year - Period:** 2024 - 08
Vendor: WAJA01 WAJAX LIMITEE **Account Set:** TRADE **ELECTRICAL SUPPLIES**
Payment Code: EFT **Payment Type:** Other

Document No.	Sched. No.	Adj. No.	Adj. Reference	Adj. Description	Adjustment	Discount	Tax Withheld	Amount
2024120159999					0.00	0.00	0.00	1,891.53
Total :					0.00	0.00	0.00	1,891.53

— Batch Summary —

	Invoice	Adjustment	Discount	Payment	Advance Credit	Bank Amount
Total for Batch 24:	0.00	0.00	0.00	870,337.56	0.00	870,337.56

42 entries printed

1 batch printed

TOWNSHIP OF EDWARDSBURGH CARDINAL

August 26, 2024

COPY

Resolution Number: 2024- _____

Moved By: _____

Seconded By: _____

THAT Municipal Council receives the payment of municipal invoices circulated and dated as follows:

- | | |
|-------------------------------------|--------------|
| • Report dated July 30 (2024-126) | \$220,836.62 |
| • Report dated July 30 (2024-127) | \$123,419.47 |
| • Report dated August 14 (2024-133) | \$133,442.60 |
| • Report dated August 15 (2024-134) | \$382,133.63 |
| • Report dated August 19 (2024-135) | \$217,470.46 |
| • Report dated August 21 (2024-136) | \$39,812.81 |

TOTAL: \$1,117,115.59

Carried Defeated Unanimous

Mayor: _____

RECORDED VOTE REQUESTED BY: _____

NAME	YEA	NAY
Councillor J. Martelle		
Councillor W. Smail		
Councillor C. Ward		
Deputy Mayor S. Dillabough		
Mayor T. Deschamps		
TOTAL		

**Township of Edwardsburgh/Cardinal
List of Accounts for Approval**

Date Printed
7/30/2024 10:17 AM

Batch: 2024-00126 to 2024-00126

Page 1

Bank Code - PAD - Preauthorized Debit

PROPOSED PAYMENTS

Payment #	Vendor Name	Reference	Invoice Amount	Payment Amount
PP -	Bell Canada			
	658-2141 07-24	spencerville arena	129.53	
	658-3001 07-24	fd/pw- phone split	151.35	
	658-3055 07-24	admin	496.68	
	536626539 07-24	Cardinal Arena internet	56.44	
	546532571 07-24	Rec- Bell Internet J.Town	132.15	966.15
PP -	Canadian National Railway Co.			
	91747854	pw - crossing maitenance	2,421.00	2,421.00
PP -	Eastlink			
	22031874	pw/fd phone	219.93	219.93
PP -	Hydro One Networks Inc.			
	19876 06-24	spencerville arena	497.56	
	02595 06-24	spencerville arena	958.07	
	03768 06-24	ball diamond	47.13	
	77395 06-24	south centre	332.70	
	16052 06-24	johnstown pool	457.64	
	64439 06-24	wwtp-3207 Windmill	2,650.31	
	10647 07-24	pw-Pittston Shop	415.13	
	14330 07-24	St Lights Var Jul 2024	1,014.01	
	18196 07-24	lagoon-2301 RD 21	60.70	
	62670 07-24	wwtp-flett st	43.55	
	25495 07-24	spencerville library	174.92	
	71283 07-24	lagoon- 1 Spencer	176.03	
	03696 07-24	fd stn 1	788.50	7,616.25
PP -	Life Works Morneau Shepell			
	2174753	EFAP-Jul-Dec 2024	984.80	984.80
PP -	Minister Of Finance			
	Jun 2024	June 2024 Council EHT premium	4,427.70	4,427.70
PP -	Ontario Municipal Employees			
	June 2024	June 2024 Contributions	39,709.94	39,709.94
PP -	Reliance Home Comfort			
	4422619 07-24	rec hot water heater rental	251.31	251.31
PP -	Royal Bank Visa			
	2113 06-24	S.Nicholson Apr 2024	1,200.93	
	2095 06-24	R.Williams RBC visa Jun 2024	3,238.23	
	0160 6-24	J.Crawford RBC Visa June 2024	12.00	
	2745 07-24	B. Moore RBC Visa Jul 2024	1,597.05	6,048.21
PP -	Superior Propane			
	49870949	rec-24 Sutton Drive	946.28	946.28
PP -	Telus Mobility			
	162152911890	Jul 2024 Corporate Account	1,145.53	1,145.53
PP -	Township of Edwardsburgh/Cardi			
	PP 15 2024 PT &	PP 15 2024 PT/FT Payroll	147,986.28	147,986.28
PP -	Workplace Safety & Insurance			
	2nd Qtr 2024	library WSIB Apr 1-Jun 30, 2024	112.79	
	June 2024	Jun 2024 Premium	8,000.45	8,113.24
			Total Proposed Payments:	<u>220,836.62</u>

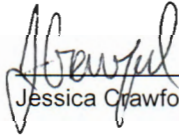
Date Printed
7/30/2024 10:17 AM

Township of Edwardsburgh/Cardinal
List of Accounts for Approval
Batch: 2024-00126 to 2024-00126

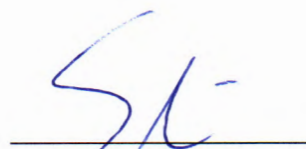
Page 2

Total PAD: 220,836.62

Certified Correct This Tuesday, July 30, 2024



Jessica Crawford, Treasurer



Sean Nicholson, CAO

Township of Edwardsburgh/Cardinal
List of Accounts for Approval
Batch: 2024-00127 to 2024-00127

Bank Code - EFT - electronic funds transfer

PROPOSED PAYMENTS

Payment #	Vendor Name Invoice #	Reference	Invoice Amount	Payment Amount
PP -	Abell Pest Control Inc.			
	A6140500	Adm-inspection	169.50	
	A5962354	Monthly Pest Control	92.02	
	A6207078	Lib- Pest control Spen Lib	141.25	
	A6000645	Monthly pest control	94.14	496.91
PP -	Acklands-Grainger Inc.			
	9179183794	wwtp- spray nozzle	61.43	61.43
PP -	Brandt Tractor Ltd			
	CS53813	pw- T5-engine oil leak	2,500.97	
	CP217871	pw- G2-12V battery	298.84	
	CP217915	pw- G11 - Starter	900.97	3,700.78
PP -	Burchell's Home Hardware			
	50259	rec- misc parts	242.63	
	50270	Rec-Paint & stain	339.54	
	50274	wwtp- plumbing/auto supplies	57.60	
	60278	pw-marking paint/supplies	489.63	
	50298	rec-bulbs	24.61	
	50357	rec-paint & misc for pool	571.22	
	50376	rec-canteen supplies	82.67	
	50419	pw- paint & paint supplies	908.78	
	50493	rec- misc	74.66	
	50498	rec- misc supplies	107.25	
	50523	rec-misc	53.06	2,951.65
PP -	Canadian Union Of Public			
	July 2024	June 2024 Union dues collected	720.00	720.00
PP -	Cludo Inc			
	INV-5204	Admin IT Services	3,049.87	3,049.87
PP -	Coville Electric			
	6746	fd- Stn#1 - emerg light repairs	1,713.08	
	6743	Rec-Hot Water Tank Breaker	282.50	
	6744	Adm-ESA Report	195.21	
	6745	rec- septic breakdown	192.10	
	6747	rec- parking lot light	5,755.83	
	6778	Rec-Ball lights	5,127.01	13,265.73
PP -	Culligan Water			
	41403TN	fd- Stn #1 - water	32.92	32.92
PP -	Drummond's Gas			

Township of Edwardsburgh/Cardinal
List of Accounts for Approval
Batch: 2024-00127 to 2024-00127

PROPOSED PAYMENTS

Payment #	Vendor Name	Invoice #	Reference	Invoice Amount	Payment Amount
		2529276	rec- fuel	19.44	
		2529300	rec- fuel	121.50	
		2529302	fd- T8-fuel	80.00	
		2529311	fd- T9-fuel	111.00	
		2473554	rec- truck fuel	24.09	
		2473567	rec-fuel	108.96	
		2473579	fd- T8 fuel	80.00	
		2527601	fd- fuel	116.68	
		2527602	fd- fuel	45.37	
		2527605	rec- fuel	35.04	
		2473594	pw-T23-01-fuel	99.10	
		2527610	rec- fuel	32.32	
		2527613	rec- fuel	131.63	
		2527614	pw-T23-01 fuel	119.00	
		2527716	pw- T19-01 fuel	44.07	
		2527667	pw- T19-01 fuel	60.60	
		2527739	rec- fuel	23.79	
		2527671	rec-fuel	127.10	
		2527747	fd- T1 fuel	83.00	1,462.69
PP -	Elster Solutions Canada Inc				
	5267277609	wtp-water metering		2,696.24	2,696.24
PP -	Evoqua Water Technologies Ltd				
	906533002	wtp- chemical dosing pump		2,518.87	2,518.87
PP -	Fire Marshal's Public Fire				
	IN165923	fd- fire prev-school handouts		376.37	376.37
PP -	G T Automotive				
	050523	pw- T19-01-replace battery		708.72	
	050556	spen sanitary-oil change		132.34	
	050564	spencerville sanitary - oil change		217.01	1,058.07
PP -	GAL Power Systems Ottawa Ltd				
	120849	wwtp- ATS backup power repairs		884.79	884.79
PP -	Grand & Toy				
	V016808	adm-envelopes		90.72	90.72
PP -	HGC Management Inc				
	53938	w/d contract collection June 2024		34,128.35	34,128.35
PP -	HW Supplies Inc				
	220000016439	pw- charger for shop		822.03	822.03
PP -	Hansler Smith Limited				
	5796916	rec-squeegee for pickle ball		45.69	45.69
PP -	J. Quattrocchi & Co Ltd				
	00822331	rec-canteen supplies		634.60	634.60
PP -	Jacob McPhail-Monty,				
	July 2024	fd- first aid course		56.49	56.49
PP -	Jeff Hopkins				
	July 18, 2024	rec- Canteen purchases		267.33	267.33
PP -	Jewell Engineering				
	00119789	storm-Cty Rd 2 - prof services Jun		8,490.37	8,490.37
PP -	Jp2g Consultants Inc				
	41902	Waste Disp Scott Road Consult-Ju		6,922.66	6,922.66
PP -	Lifesaving Society				

Township of Edwardsburgh/Cardinal
List of Accounts for Approval
Batch: 2024-00127 to 2024-00127

PROPOSED PAYMENTS

Payment #	Vendor Name	Invoice #	Reference	Invoice Amount	Payment Amount
		224644	rec- program supplies	569.00	
		224645	rec-program supplies	44.00	
		225070	rec- program supplies	44.00	657.00
PP -	Limerick Environmental Svcs				
		2024-0584	bin pickup transfer site	3,851.85	3,851.85
PP -	Local Authority Services Ltd.				
		ST002044	CDM Plan as per attached details	8,192.50	
		MGBP000006790	adm- cannon black ink	78.29	8,270.79
PP -	Mac's Convenience Store Inc.				
		146528	rec- truck fuel	100.02	
		146559	ind park fuel	75.15	
		146565	ind park fuel	97.63	
		146571	pw- T19-01 fuel	78.40	
		146572	rec - fuel	9.25	
		146573	pw- T22-01 fuel	115.00	
		146575	wmpss-fuel	116.67	
		146576	rec- fuel	140.00	
		146577	ind park fuel	90.00	
		146579	rec- fuel	80.28	
		146580	rec- fuel	134.80	
		146581	wmpss fuel	116.63	
		146583	rec- fuel	35.10	
		146584	pw- T22-01 fuel	114.00	
		146585	wmpss fuel	115.10	
		146586	rec- fuel	9.31	
		146587	rec- fuel	15.40	
		146588	rec- truck fuel	175.73	
		146591	rec- fuel	39.54	
		146593	rec- fuel	78.00	1,736.01
PP -	Messer Canada Inc., 15687				
		2107924885	pw- welding gas	248.13	248.13
PP -	Nathalie Landry				
		July 2024	fd- family bbq supplies	29.71	29.71
PP -	O'Reilly's Independent Grocer				
		06 8622	pw- water/gatorade	135.33	135.33
PP -	Octacom Limited & Image Advantage,				
		INV059127	Adm-file hold migration	565.00	
		INV059149	Adm-File Hold Annual Support	2,775.28	3,340.28
PP -	Porter, Rachel				
		July 19, 2024	Rec-Program & Canteen purchase	210.09	210.09
PP -	Postmedia Network Inc				
		IN31327	Adm-Agenda Advertising	214.79	214.79
PP -	Purolator Courier Ltd.				
		890048650	fd/wtp/rec-couriers	32.63	32.63
PP -	R & D Dairies Ltd				
		999.B240065	Rec Canteen supplies	230.67	
		999.B240048	Rec Canteen supplies	40.52	
		999.B240129	Rec Canteen supplies	51.00	
		999.B240293	Rec Canteen Supplies	293.15	615.34
PP -	Sally Mellon				

Township of Edwardsburgh/Cardinal
List of Accounts for Approval
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PROPOSED PAYMENTS

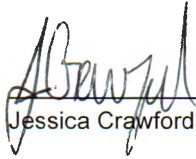
Payment #	Vendor Name	Invoice #	Reference	Invoice Amount	Payment Amount
		EC2406	Animal Control Jun 2024	1,412.50	
		EC2407	Animal Control Jul 2024	1,412.50	2,825.00
PP -	Sands	00722085a	fd-difib pads	143.07	143.07
PP -	Sani Gear Inc	16517	fd-annual gear cleaning	957.75	
		16518	fd- annual gear cleaning	79.10	1,036.85
PP -	Secureway	2240224	rec- fixed basket	221.42	221.42
PP -	Selleck Truck & Trailer Repair	133315	pw- volvo tires	3,972.36	3,972.36
PP -	Spencerville Home Hardware	86660	pw- cable - internet	37.28	
		86700	rec - misc	8.36	
		86720	Adm-sofit	9.03	
		86723	rec- tractor maintenance	5.07	
		86724	rec- tractor maitenance	-0.57	
		86739	adm- misc	5.64	64.81
PP -	TRS Heating & Cooling Ltd.	42156895	Lib-service call a/c unit	157.07	157.07
PP -	Technical Standards & Safety	9874398	rec - TSSA inspection	618.11	618.11
PP -	Tenaquip Ltd.	16192369-00	wwtp- latex gloves	166.54	
		16197650-00	wwtp- safety harness	147.05	313.59
PP -	The Grass Man	June 21, 2024a	bylaw- grass cutting	315.00	315.00
PP -	Thompson Timber Mart	F34457	pw- sign repairs posts	113.73	113.73
PP -	Ultramar	03916792707386	pw-2397.4L Color diesel-Cty Rd 2	3,926.24	
		05466141707387	pw-1247.10L Clear diesel-Dish	2,107.90	6,034.14
PP -	Universal Supply Group 3735	964-441654	es-belts	453.01	453.01
PP -	Upper Canada Elevators	30250	adm - lift inspection	260.00	260.00
PP -	Waste Connections of Canada	7150-0000447935	Bin Collection	1,849.77	1,849.77
PP -	Westburne Ontario	3940854	wwtp- relays	541.28	541.28
PP -	Whitaker Environmental Services Inc	3410	rec-UV sleeve - Jtown Hall	423.75	423.75
				Total Proposed Payments:	123,419.47

Total EFT: 123,419.47

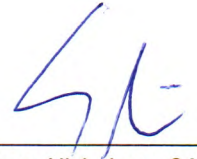
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Township of Edwardsburgh/Cardinal
List of Accounts for Approval
Batch: 2024-00127 to 2024-00127

Certified Correct This Tuesday, July 30, 2024



Jessica Crawford, Treasurer



Sean Nicholson, CAO

Township of Edwardsburgh/Cardinal
List of Accounts for Approval
Batch: 2024-00133 to 2024-00133

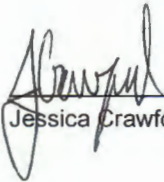
Bank Code - AP - REVENUE FUND

PROPOSED PAYMENTS

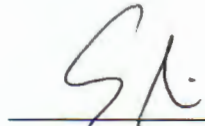
Payment #	Vendor Name	Invoice #	Reference	Invoice Amount	Payment Amount
PP -	Chris Smith Canada Court	2430	rec- pickel ball coating	36,554.60	36,554.60
PP -	Minister of Finance	302507241322051	Jun 2024 OPP billing	96,888.00	96,888.00
Total Proposed Payments:					133,442.60

Total AP: 133,442.60

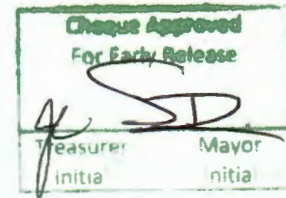
Certified Correct This Wednesday, August 14, 2024



Jessica Crawford, Treasurer



Sean Nicholson, CAO



Township of Edwardsburgh/Cardinal
List of Accounts for Approval
Batch: 2024-00134 to 2024-00134

Bank Code - EFT - electronic funds transfer

PROPOSED PAYMENTS

Payment #	Vendor Name	Reference	Invoice Amount	Payment Amount
PP -	Alarm Systems - Brockville			
	1516334	wtp - monitoring fees	220.35	
	1516335	wwtp- monitoring fees - henry st	159.33	
	1515336	wwtp-monitoring fees	261.00	
	1516337	wtp - monitoring fees generator	159.33	
	1516338	wwtp-monitoring fees hwy 2	159.33	
	1516339	wwtp- monitoring fees - Adelaide	227.13	1,186.47
PP -	Brandt Tractor Ltd			
	CP218548	pw-T20-03 backup alarm	118.50	118.50
PP -	Brenntag Canada Inc.			
	46851331	es - sodiuam hypochlorite	3,250.22	3,250.22
PP -	Burchell Fencing			
	8211	rec- pickel ball court	10,565.50	10,565.50
PP -	Burchell's Home Hardware			
	50571	pw- ratchet straps/paint	149.24	
	50774	pw- batteries/broom	36.14	185.38
PP -	Canadian Union Of Public			
	Aug 2024	Aug 2024 Union dues collected	760.00	760.00
PP -	Cassidy's Engraving & Trophies			
	918441	rec-swimming ribbons	536.42	536.42
PP -	Chris LeBlanc			
	July 16, 2024	pw- training expenses	115.28	115.28
PP -	Cleary Feed & Seed			
	2-5715	rec-diamond field marker	125.36	125.36
PP -	Corey Gillan			
	July 11, 2024	fd- MTO medical/air brake course	570.00	570.00
PP -	Cornwall Gravel Co. Ltd.			
	133419	pw- culvert installs	1,712.85	1,712.85
PP -	Coville Electric			
	6749	rec-esa report tree line trimming	2,227.22	2,227.22
PP -	Crawford, Jessica			
	July 2024	Adm-Mileage/Kitchen Supplies	83.79	83.79
PP -	Crich, Jarrett			
	Jul 30, 2024	es-Mileage-J.Crich 5 day course	700.00	700.00
PP -	DW Building Restoration Servic			
	BRS 24-36-03	pw-Weir Rd Bridge PP#3	147,721.27	147,721.27
PP -	Da-Lee Group Dust Control			
	INV0099161	pw- dust suppressant tender	12,856.01	12,856.01
PP -	Davie Deline			
	July 2024	Cleaning Services for June 2024	1,700.00	1,700.00
PP -	Diversified Certification &			
	24-35	es-electric chain hoist	8,960.06	8,960.06
PP -	Drummond's Gas			
	2527770	pw- T19-01 fuel	132.84	
	2527687	pw- fuel	24.01	156.85
PP -	Elmer's Construction			
	39066	rec- pump tanks	757.10	
	39075	pw- pump holding tank	423.75	1,180.85
PP -	Extend Communications			

Township of Edwardsburgh/Cardinal
List of Accounts for Approval
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PROPOSED PAYMENTS

Payment #	Vendor Name	Reference	Invoice Amount	Payment Amount
	Invoice #			
	2408-17131	rec-tas call in	456.31	456.31
PP -	Fire Marshal's Public Fire			
	IN166070	fd- training - hazmat textbooks	163.37	163.37
PP -	Future Office Products			
	FOP226430	Monthly Contract Charge Jul 2024	332.91	332.91
PP -	G C Hudson Supply Ltd.			
	390338	rec- lift to remove trees	678.00	678.00
PP -	G. Tackaberry & Sons			
	G-0091275	pw-entrance ways culverts - variou	2,666.92	
	G-0091628	pw- cross/entrance culverts	11,890.62	14,557.54
PP -	GAL Power Systems Ottawa Ltd			
	121682	wwtp- wwtp generator serving	1,600.87	
	121787	es- GAL 5 year service	1,700.31	
	121814	es- 5 year generator inspection	1,700.31	5,001.49
PP -	Gin-Cor Industries			
	86581	pw- T19-04-tarp roller assy	2,346.39	2,346.39
PP -	Gordon Signs			
	2030	ec dev- fair banners	282.50	
	2031	rec-new sign for meadowlands	440.70	
	2032	pw- street signs	254.25	977.45
PP -	Greer Galloway Consulting Eng			
	29394	plan-peer review lockmasters mea	2,136.72	2,136.72
PP -	HGC Management Inc			
	54350	w/d contract collection July 2024	34,128.35	34,128.35
PP -	Hansler Smith Limited			
	5798410	rec- toilet seat	94.40	94.40
	5798640	rec- garbage bags	208.82	208.82
PP -	Howard Campbell & Sons Ltd.			
	P54443	rec-outhouse flushing	255.00	
	MR4139	w/d-Scott Rd- portable rental	150.00	405.00
PP -	Industrial Electrical			
	4442	es- LLP starters-capital	9,131.47	
	4412	es-light fixture replacements	2,058.71	
	4421	es- spencerville PS # 1	1,705.40	
	4463	es- decanter repairs	1,032.82	
	4462	es-spencerville PS #1	2,664.63	16,593.03
PP -	J. Quattrocchi & Co Ltd			
	00823206		184.85	184.85
PP -	Jeff Hopkins			
	Aug 2024	Rec- work boots J. Hopkins	327.69	327.69
PP -	Joe Computer			
	206493	Internet	138.99	138.99
PP -	John Buffet			
	360	Bylaw- July 2024	1,620.00	1,620.00
PP -	John Henry			
	July 20, 2024	fd-fire prev- mileage - Jul	29.40	29.40
PP -	Kim Durant			
	July 2024	Rec-Program Supplies/Swim Meet	1,183.20	1,183.20
PP -	Lifesaving Society			
	M182865	rec- program supplies	357.38	
	225690	rec-program supplies	44.00	401.38

Township of Edwardsburgh/Cardinal
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PROPOSED PAYMENTS

Payment #	Vendor Name	Invoice #	Reference	Invoice Amount	Payment Amount
PP -	Limerick Environmental Svcs	2024-1041	bin pickup transfer site	4,831.08	4,831.08
PP -	Lloyd McMillan Equipment Ltd.	41425	pw- cross culvert - Sophia St	1,525.50	
		41431	pw- cross culverts - armstrong rd	1,525.50	
		41438	pw- cross culverts-armstrong rd	1,525.50	4,576.50
PP -	Local Authority Services Ltd.	MGBP000006818	pw- file boxes	78.51	
		MGBP000006886	adm- black ink	64.40	142.91
PP -	Mac's Convenience Store Inc.	146510	rec- fuel	34.11	
		146506	pw- T19-01 fuel	109.55	
		146521	pw-T19-01 fuel	117.36	
		146574	pw - T23-01 fuel	106.00	
		146590	pw- T22-01 fuel	96.00	
		146592	rec- truck fuel	152.97	
		146594	rec- truck fuel	131.52	
		146595	es- truck fuel	91.00	
		146596	rec-truck fuel	25.89	
		146597	es-truck fuel	117.20	
		146598	pw-T23-01 fuel	109.75	
		146599	pw- T22-01 fuel	118.01	
		146600	es- truck fuel	97.56	
		146601	rec- fuel	128.90	
		146602	rec- fuel	108.90	
		146603	fd- T9-fuel	91.52	
		146604	rec- truck fuel	60.00	
		146605	rec-fuel	39.12	
		146606	pw- T23-01 fuel	79.05	
		146608	pw- T23-01 fuel	138.50	
		146609	pw- T22-01 fuel	130.00	
		146610	rec- fuel	107.60	
		146611	es- truck fuel	109.95	
		146613	pw-T23-01-fuel	126.45	
		146614	pw- T22-01-fuel	71.00	
		146615	rec- truck fuel	50.00	
		146619	rec- truck fuel	104.10	
		146620	rec- truck fuel	122.40	
		146622	pw-T23-01 fuel	110.85	2,885.26
PP -	Marley Perrin	Aug 2024	Aug 2024 Cleaning	750.00	750.00
PP -	Messer Canada Inc., 15687	2107979086	pw ferroline gas welding	14.66	14.66
PP -	Novatech	1038897	Plan-ZBL Housekeeping Amendm	4,595.15	4,595.15
PP -	OnServe	67367	adm-SQL license-FMW	7,088.49	7,088.49
PP -	Ontario One Call	202460327	pw-locates	130.70	130.70
PP -	PSD Citywide Inc				

Township of Edwardsburgh/Cardinal
List of Accounts for Approval
Batch: 2024-00134 to 2024-00134

PROPOSED PAYMENTS

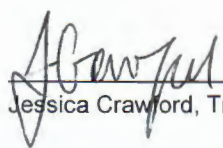
Payment #	Vendor Name	Invoice #	Reference	Invoice Amount	Payment Amount
		21198	adm- annual citywide software	8,563.38	
		21911	adm-asset management plan	6,196.16	
		21796	adm-PSD Grants service members	300.01	15,059.55
PP -	Porter, Rachel				
	Aug 2024		Rec- Summer Programs	120.76	120.76
PP -	Prescott Building Centre				
	2080574		rec- repair to power supply box	255.10	255.10
PP -	Pro-Tech Training Services Inc				
	2562		pw/es/rec- worker at heights	1,220.40	
	2564		rec/pw/es- worker at heights	2,203.50	3,423.90
PP -	Provincial Road Markings Inc				
	14538		pw- 2024 line painting	27,665.45	27,665.45
PP -	Purolator Courier Ltd.				
	515038832		Adm-Reg Gen & courier	20.52	
	540041227		adm- Reg Gen & MOF	35.56	
	575048873		Adm-Reg Gen	15.04	71.12
PP -	Quintan Products Inc.				
	0000176153		pw- filter cloth	1,090.45	
	0000176180		pw- plastic culvert	214.70	1,305.15
PP -	R & D Dairies Ltd				
	999.B240566		Rec Canteen supplies	480.15	
	999.B240839		Rec Canteen Supplies	142.50	622.65
PP -	Sands				
	00722821		bylaw- uniform for J. Buffet	275.70	275.70
PP -	Sani Gear Inc				
	16571		fd- bunker gear cleaning	1,015.99	1,015.99
PP -	Smartcell Communications Inc				
	KINBIIN5802		rec-Canteen cell	56.50	56.50
PP -	South Grenville Beacon				
	715		adm- graduation adv	84.75	84.75
PP -	South Nation Conservation				
	IN28969		pw- Weir Rd Bridge permit fees	665.00	665.00
PP -	Spencerville Home Hardware				
	86825		pw-gloves	40.66	
	86837		es- coffee supplies	41.79	
	86844		rec- misc	6.76	
	86858		w/d-township bags	8,322.45	
	86880		rec- misc	12.98	8,424.64
PP -	Strongco Limited Partnership				
	92504375		pw-volvo-oil change/ ac repairs	6,940.47	6,940.47
PP -	TNT Dynamite Signs				
	33776		rec-no camping signs	334.71	
	337777		rec- no camping signs	334.71	
	337792		rec-new decals for baby pool	207.47	876.89
PP -	The Grass Man				
	July 22, 2024		bylaw- grass cutting	135.60	135.60
PP -	The Information Professionals				
	TOMRMS 2024-063		TOMRMS 2024 Annual Update	452.00	
	TOMRMS 2023-052		TOMRMS 2023 Annual Update	423.75	875.75
PP -	Thompson Timber Mart				

Township of Edwardsburgh/Cardinal
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Batch: 2024-00134 to 2024-00134

PROPOSED PAYMENTS

Payment #	Vendor Name	Invoice #	Reference	Invoice Amount	Payment Amount
		J34831	pw- supplies	18.93	
		H34857	pw- lumber signs repairs	48.08	
		F34344	pw- lumber sign repairs	35.14	102.15
PP -	Ultramar				
		03916792707388	pw-1126.7L Color diesel-Cty Rd 2:	1,761.17	
		03916804707389	pw-1806.8L Clear diesel-Cty Rd 2:	3,008.00	
		03916804707390	pw-2173.4L Clear diesel-Cty Rd 2:	3,618.35	8,387.52
PP -	United Counties Of Leeds &				
		INV 20808	Bldg-GIS Data Services	113.15	113.15
PP -	Universal Supply Group 3735				
		964-440384	rec- misc	6.31	
		964-442915	Ind Park Water- Vehicle parts	70.82	
		964-442916	ind park water-vehicle parts	50.85	127.98
PP -	WCS Canada Store				
		WCS8252	Adm- Ear Care Odor Bags	135.60	135.60
PP -	Zamboni Company Ltd.				
		100675	asset 2601-inspection	3,686.06	3,686.06
PP -	eSCRIBE Software Ltd.				
		9448	Adm-Escribe Pro License Aug-Sep	14.13	14.13
				Total Proposed Payments:	382,133.63
				Total EFT:	382,133.63

Certified Correct This Thursday, August 15, 2024



Jessica Crawford, Treasurer



Sean Nicholson, CAO

Township of Edwardsburgh/Cardinal
List of Accounts for Approval
Batch: 2024-00135 to 2024-00135

Bank Code - PAD - Preauthorized Debit

PROPOSED PAYMENTS

Payment #	Vendor Name	Reference	Invoice Amount	Payment Amount
PP -	Bell Canada			
	925 5822 07-24	Sout Centre Johnstown	136.13	
	657 4468 07-24	WTP Phone	138.95	
	657 3210 07-24	Cardinal Arena	145.88	
	657 4606 07-24	Pittston Phone	150.92	
	657 4850 07-24	WWTP phone	187.91	
	657 3765 07-24	John St	382.59	
	543665566 07-24	Admin/Fd/PW Rec Internet	372.72	1,515.10
PP -	Hydro One Networks Inc.			
	84483 07-24	pw- Sophia St	6.89	
	53082 07-24	lagoon 2803 CR 21	38.28	
	24430 07-24	ball diamonds	139.83	
	27613 07-24	admin-townhall	623.03	
	41324 07-24	parks-CR44 clock	45.61	
32562 07-24	lagoon 4 Charles	38.64	892.28	
PP -	LBC Capital			
2689878	copier lease	183.06	183.06	
PP -	MuniSoft			
2024-25-01750	adm-Tax Notice Paper	362.60	362.60	
PP -	Rideau St Lawrence			
	270-00 07-24	pw-cardinal streetlights	1,762.33	
	502-00 07-24	ball diamond Cardinal	35.51	
	450-00 07-24	wtp-water tower	45.76	
	496-00 07-24	wwtp-417 Hwy2	46.65	
	504-00 07-24	parks 1800 Dundas	50.44	
	435-00 07-24	wwtp-172 Henry	142.92	
	290-00 07-24	parks-1700 Dundas	156.64	
	501-00 07-24	fd stn 2	174.15	
	370-00 07-24	wwtp-adelaide	290.83	
	500-01 07-24	cardinal library	324.53	
	250-00 07-24	cardinal pool	493.07	
	231-00 07-24	pw-4035 Dishaw	733.14	
	430-00 07-24	wtp-87 Legion Way	1,695.06	
	505-01 07-24	cardinal arena	3,386.33	
	464-00 07-24	4000 John wwtp	5,498.69	
	119-01 07-24a	ind park water	6,770.60	21,606.65
PP -	Royal Bank Visa			
	8356 -07-24	D Grant - RBC Visa Jun 2024	868.82	
	8584 -07-24	M. Spencer Jun 2024	3,063.66	3,932.48
PP -	Sun Life Financial			
Aug 2024	Monthly Premiums	24,304.07	24,304.07	
PP -	Superior Propane			
	50004521	rec-24 Sutton Drive	1,164.65	
49965254	Cardinal Arena	19.78	1,184.43	
PP -	Telus Mobility			
39265058 07-24	adm-Jul 2024 Business Phone Acc	2,029.91	2,029.91	
PP -	Township of Edwardsburgh/Cardi			

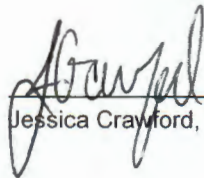
Township of Edwardsburgh/Cardinal
List of Accounts for Approval
Batch: 2024-00135 to 2024-00135

PROPOSED PAYMENTS


Payment #	Vendor Name	Invoice #	Reference	Invoice Amount	Payment Amount
		PP 16 2024 PT/F	PP 16 2024 PT/FT Payroll	153,280.29	
		PP 16 2024 ADP	PP 16 2024 ADP Payroll Fee	1,012.09	
		PP 8 2024 Counc	PP 8 2024- Council Payroll	5,766.80	160,059.18
PP -	Union Gas Limited				
		72598 5 07-24	Library Gas Jul 2024	26.06	
		69531 2 07-24	4035 Dishaw St	27.44	
		72687 6 07-24	70 Adelaide St	37.59	
		1619 4 07-23	24 sutton Dr	47.90	
		44787 6 07-24	87 Legion Way	254.47	
		53951 1 07-24	wntp-4000 John natural gas	1,007.24	1,400.70
				Total Proposed Payments:	217,470.46

Total PAD: 217,470.46

Certified Correct This Monday, August 19, 2024



Jessica Crawford, Treasurer



Sean Nicholson, CAO

Township of Edwardsburgh/Cardinal
List of Accounts for Approval
Batch: 2024-00136 to 2024-00136

Bank Code - AP - REVENUE FUND

PROPOSED PAYMENTS

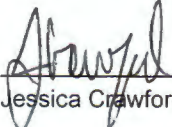
Payment #	Vendor Name Invoice #	Reference	Invoice Amount	Payment Amount
PP -	1894 Inc. 1398	pw weather app	6,978.88	6,978.88
PP -	416 Courier 2091	Adm-Jul Water Sample Courier	259.90	259.90
PP -	Arrow's Trophies 509	Rec- Swim meet madals	227.64	227.64
PP -	Brokor Farm 0103919	rec-flowers	3,965.84	
	0103921	rec-flowers	485.90	
	0103920	rec-flowers	512.38	
	0103918	rec-flowers	706.92	5,671.04
PP -	Carefree Pools Ltd. 305905	rec- Pool chemicals	121.13	121.13
PP -	Claridge, Joan WalkerHouse2024	Council-Walker House 2024	25.00	25.00
PP -	Corporation of the Town of Prescott 2024-ECFA-02	FD- Q2 Prescott Auto Aid agreeme	7,202.62	7,202.62
PP -	Daltco Electric 1502668	Rec-Ball diamond panel repair	686.24	
	1502669	rec- ball diamond panel	222.76	
	1503014	rec-ball diamond panel	120.11	
	1503015	rec-ball diamond panel	3.10	1,032.21
PP -	EVB Engineering 8406	Lagoon-Spencerville EA	1,090.56	
	8654	es-lagoon EA ammendment	545.28	1,635.84
PP -	Enviromark Inc 240624-1	wwtp-display assy/key pad	587.60	587.60
PP -	Fluent Information Management INV-9133	adm-emergency mgmt app	678.00	678.00
PP -	Fox, Lindsey 2024-04-12-006	Rec-Refund summer camp	225.00	225.00
PP -	Ground Master C-12323	rec-weed spraying lagoon park	253.52	253.52
PP -	H. O. Wright & Sons Ltd. 56479	es- spare relays - SPS #1	254.25	254.25
PP -	Karcher Municipal 14018758	pw-H3 sweeper brush set	673.68	673.68
PP -	Kemira Water Solution Canada 9019243546	es-polymer-PAC chemicals	5,278.91	5,278.91
PP -	Levac Supply Ltd. 1362844	pw- hard hat	22.18	22.18
PP -	M. Good Inc. 04382	fd- dress uniforms sizing	169.50	169.50
PP -	MROO RPS-2024.16	Adm-OMERS seminar	275.00	275.00
PP -	Minister of Finance SC2019-19Jul24	Garnishment for July & August 202	1,412.52	1,412.52
PP -	Pakeman, Ian 08142024	pw-entranceway culvert not require	700.00	700.00

Township of Edwardsburgh/Cardinal
List of Accounts for Approval
Batch: 2024-00136 to 2024-00136


PROPOSED PAYMENTS

Payment #	Vendor Name	Invoice #	Reference	Invoice Amount	Payment Amount
PP -	Pakerman, Beth	2024-07-15-008	Rec- Refund swimming lesson	143.50	143.50
PP -	Paul Kingston	2071	drainage-beaver control	678.00	678.00
PP -	Planes Precast Concrete	0000197783	rec-holding tank lid	88.28	
		0000197961	rec- manhole cover	68.87	157.15
PP -	R. A. Howard Bus Services Ltd	33627	Wellness Committee Day trip bus	339.00	339.00
PP -	Ryan, Clint	07252024	Culvert Fee charged twice	800.00	800.00
PP -	Spencerville Agricultural	3928	fd- annual appreciation dinner	1,281.42	1,281.42
PP -	Station Mont Cascades Resort	ORD_KAMNK8	Rec- Camp Day Trip	1,249.21	1,249.21
PP -	Thomson Reuters Canada	850635947	2024 Planning Legislation	494.55	494.55
PP -	Thousand Islands Concrete Ltd.	40285	rec- concrete for parking lot light	475.73	475.73
PP -	Van Winckle, Sarah	2024-05-23-003	rec-refund summer camp	225.00	225.00
PP -	Walz, Natacha	07012024	rec-refund camp	191.66	191.66
PP -	Watts' Small Engines	31056	pw-chain/engine oil	66.73	
		31114	rec- trim line	26.44	93.17
				Total Proposed Payments:	<u>39,812.81</u>
				Total AP:	<u>39,812.81</u>

Certified Correct This Wednesday, August 21, 2024



Jessica Crawford, Treasurer



Sean Nicholson, CAO

**THE CORPORATION OF THE
TOWNSHIP OF EDWARDSBURGH CARDINAL**

BY-LAW NO. 2024-

“A BY-LAW TO APPOINT AN INTERIM CHIEF BUILDING OFFICIAL”

WHEREAS the Building Code Act 1992, SO 1992, C.23, Section 3(2), directs that each municipality shall appoint a Chief Building Official and such inspectors as are necessary for the enforcement of the Act in the areas in which the municipality has jurisdiction;

NOW THEREFORE the Council of the Township of Edwardsburgh Cardinal enacts as follows:

1. That Shawn Merriman shall be appointed as the Interim Chief Building Official for the Township of Edwardsburgh Cardinal effective upon passing.
2. That Shawn Merriman shall do all things and perform all duties of this office heretofore stated, pursuant to the statutory authority quoted heretofore.
3. That By-law 2019-61 is hereby repealed.

Read a first and second time in open Council this 26 day of August, 2024.

Read a third and final time, passed, signed and sealed in open Council this 26 day of August, 2024.

Mayor

Clerk

**THE CORPORATION OF THE
TOWNSHIP OF EDWARDSBURGH CARDINAL**

BY-LAW NUMBER 2024-

**“A BY-LAW TO AUTHORIZE THE MAYOR, CAO AND PORT GENERAL
MANAGER TO EXECUTE THE TENANCY ASSIGNMENT AND CONSENT TO
ASSIGNMENT OF A LEASE AGREEMENT
FOR PORT PROPERTY NUMBER P-42”**

WHEREAS various leases and lease extensions were assigned to the Corporation of the Township of Edwardsburgh Cardinal by The Canada Ports Corporation on October 12, 2000;

AND WHEREAS the leases provide that they shall not be assigned without the written consent of the assignee;

AND WHEREAS the lessee of a lease dated October 1, 2014 regarding premises known as Port Property Number P-42 has requested consent to an assignment of the said lease;

NOW THEREFORE the Council of the Corporation of the Township of Edwardsburgh Cardinal enacts as follows:

1. That the Mayor, CAO and Port General Manager are hereby authorized to execute such documents as are necessary to affect the tenancy assignment and consent to assignment of a lease agreement for Port Property Number P-42.
2. That this agreement attached hereto as Schedule “A” shall form part of this by-law.
3. That this by-law shall come into force and take effect upon passing.

Read a first and second time in open Council this 26 day of August, 2024.

Read a third and final time, passed, signed and sealed in open Council this 26 day of August, 2024.

Mayor

Clerk

TENANCY AGREEMENT pursuant to the *Residential Tenancies Act, 2006*, S.O. 2006 c. 17 (“the Act”)

BETWEEN:

**The Corporation of the Township of Edwardsburgh/Cardinal
(Port of Johnstown Division)**

3035 County Rd 2
Johnstown, ON K0E 1T1

(This is the legal name and address of the Port
until subsequently notified of a change for the purposes of the
Residential Tenancies Act, 2006, S.O. 2006, c. 17, as amended)

(the “**Port**”)

- and -

William Berube and Judy Berube

10135 McIntyre Road R.R.#3
Mountain, ON K0E 1S0

(the “**Tenant**”)

Recitals:

1. **WHEREAS** the Port is a Local Board as defined in the *Municipal Act, 2001*, S.O. 2001 c. 25 established by the Township of Edwardsburgh/Cardinal (“**the Township**”).
2. **AND WHEREAS** the lands of the Port lands described in Schedule “B are owned by the Township. The Township has delegated management of the lands to the Port.
3. **AND WHEREAS** the Port leases for the purposes of residential occupancy until such time as it requires the lands for the Port’s, the Township’s, or the public’s purposes.
4. **AND WHEREAS** the parcel of land only is the subject of this lease.
5. **AND WHEREAS** the Tenant has applied to the Port for a lease of the lands and premises hereinafter particularly described in Schedule “A” as P-42 (“**the Rented Premises**”), and the Port has agreed thereto upon and subject to the terms, conditions, stipulations, agreements and covenants hereinafter mentioned and contained.
6. **AND WHEREAS** the original tenants to this Agreement were William Berube and Jeffrey Berube.
7. **AND WHEREAS** Jeffrey Berube assigned his interest in this Agreement to Judy Berube on May 30, 2021.
8. **AND WHEREAS** William Berube and Judy Berube are the lawful tenants pursuant to this Agreement.
9. **NOW THEREFORE THIS INDENTURE WITNESSETH** as follows:

Section 1.0 Intent and Interpretation

Section 1.1 Headings

The headings introducing sections and articles in this Lease are inserted for convenience of reference only and in no way define, limit, construe or describe the scope or intent of such sections or articles.

Section 1.2 Extended Meanings

The words “hereof”, “herein”, “hereunder” and similar expressions used in any section or subsection of this Lease relate to the whole of this Lease and not to that section or subsection only, unless the

context indicates otherwise. The use of the neuter singular pronoun to refer to Port or Tenant is deemed a proper reference even though Port or Tenant is an individual, a partnership, an association, a corporation or a group of two or more individuals, partnerships, associations or corporations. The necessary grammatical changes required to make the provisions of this Lease apply in the plural sense where there is more than one Port or Tenant and to either corporations, associations, partnerships or individuals, males or females, shall in all instances be assumed as though in each case fully expressed.

Section 1.3 Time of the Essence

Time is of the essence of this Lease and of every part hereof, except as herein otherwise provided.

Section 2.0 Lands Leased

In consideration of the rents, covenants and agreements hereinafter reserved and contained, on the part of the Tenant, the Port does demise and lease unto the Tenant, its heirs, executors, administrators, successors and assigns, all and singular that certain parcel or tract of land and premises situate, lying and being in the Township, the Rented Premises designated as property P-42 more particularly described in Schedule "A" hereto.

Section 2.1 Occupants

- a) It is understood that so long as the Tenant(s) identified in this Tenancy Agreement occupy the Rented Premises, only the following additional persons are permitted to occupy the Rented Premises:

Name: _____

Name: _____ (the "Permitted Occupants")

- b) Any additional occupant shall not be permitted by the Port unless added as a Permitted Occupant pursuant to an amendment to this Tenancy Agreement in writing and signed by the Port and the Tenant. Notwithstanding anything in this Agreement or the Act to the contrary, this Agreement shall not terminate upon the death of the last surviving Tenant provided the lawful heirs of the Tenant elect in writing within sixty (60) days of the Tenant's death, to unconditionally assume the Tenant's obligations under this Agreement for its remainder.

Section 2.2 Waterlot Use

- a) For and during the term of this Lease, and subject to the provisions of the Lease, the Port grants to the Tenant the use of the Waterlot described in Schedule "C" hereto annexed; hereinafter called the Waterlot.

The Tenant, subject to obtaining the prior written approval of the Port, repair of normal wear and tear excepted, and to obtaining all applicable regulatory approvals, including but not limited to navigation, fisheries and the environment;

- (i) may construct, alter, repair and remove a dock for the purposes of berthing his private pleasure crafts(s) not exceeding 10m in length.
 - (ii) may construct, alter, and repair shore protection works along the shoreline of the Rented premises.
- c) The Port grants to the Tenant the right of access across the Waterlot to the Rented Premises.
- d) The Tenant shall not restrict nor attempt to restrict public navigation over the Waterlot.
- e) The Tenant shall not remove or deposit fill, stone or any other material on the Waterlot, except in connection with the works set out in Section 2.1 b). Infilling of the Waterlot, which in the opinion of the Port, has as its primary purpose the creation of additional land may not be permitted.
- f) The Port reserves the use of the Waterlot for its own purposes at its sole and unfettered discretion.

Section 2.3 Right of Way for Access

- a) For and during the Term (as hereinafter defined) of this Lease, the Port grants to the Tenant the right of ingress and egress in common with others, over, along, across and upon the lands

of the Port more particularly described in Schedule “D” hereto annexed, hereinafter called the “**Right of Way**”.

- b) The Port retains the right, upon written notice to the Tenant, to relocate the Right of Way at any time and from time to time during the Term.
- c) The Port retains the right, at any time and from time to time, during the Term, to restrict ingress and egress across the Right of Way for reasons of construction, maintenance or other related works or purposes. In this regard, the Port agrees to complete any such works as expeditiously as possible in the circumstances and to provide the Tenant, whenever possible, an alternative means of ingress and egress to the Rented Premises during any periods of interruption.
- d) The Port further retains the right to use the Right of Way for its own purposes and to grant access to it by others at its sole and unfettered discretion.

Section 3.0 Term

The term (the “**Term**”) of this Lease shall be Twenty (20) years, beginning on the 1st day of October 2014, and ending on the 30th day of September 2034.

Section 4.0 Rent

The Tenant covenants and agrees to pay unto the Port, per annum, at the office of the Port, in lawful money of Canada, without any prior demand therefore and without any deductions of any kind whatsoever, the following as rent (“**Basic Rent**”):

- (i) For the period beginning October 1, 2014 and ending September 30, 2015, the sum of \$ 2,912.11 per annum.
- (ii) For each subsequent year of the Term and commencing on the anniversary date of each subsequent year, a percentage increase for the full amount permitted under the Act as amended from time to time or any successor legislation.

Section 4.1 Payment of Rent

Basic Rent shall be payable in advance on the 1st day of October in each and every year during the Term of this Lease.

Section 4.2 Net Lease

The Tenant acknowledges and agrees that it is intended that this Lease is an absolutely net and carefree Lease to the Port, except as expressly herein set out; that the Port is not responsible during the Term for any costs, charges, expenses and outlays of any nature whatsoever arising from or relating to the Rented Premises or the use and occupancy thereof, or the contents thereof, except as expressly herein set out; and the Tenant shall pay all charges, imposition, taxes, costs and expenses of every nature and kind relating to the Rented Premises, except as expressly set out herein.

Section 4.3 Recovery of Additional Rent

Save as otherwise expressly set out herein, all additional charges payable by the Tenant contemplated by this Lease (the “**Additional Rent**”) shall be deemed to be and shall be treated as rent and payable and recoverable as rent, and the Port shall have (in addition to any other right or remedy) the same rights and remedies in the event of default by the Tenant in payment of any amount payable as Additional Rent as the Port would have in the case of default by the Tenant in payment of rent.

Section 5.0 Use

The Tenant shall only use the Rented Premises for the purpose of single-family residential accommodation only and for no other purpose without first receiving the prior written consent of the Port and in particular, the Tenant shall not use the Rented Premises or Waterlot or Right of Way for any commercial purpose.

Section 6.0 Tenant’s Covenants

The Tenant covenants with the Port as follows:

a) To Pay Rent

To pay the Township of Edwardsburgh/Cardinal (cheques payable to the Port of Johnstown) the Basic Rent, Additional Rent and all other sums set out herein at the times and in the manner herein contemplated, without any set-off, abatement or reduction whatsoever;

b) To Pay Taxes

To pay the Township of Edwardsburgh/Cardinal all taxes and similar charges (including, without limitation, realty taxes, school taxes, assessments and local improvement rates, and other rates) charged or required by the Township;

c) To Repair

To repair undue damage caused by the wilful or negligent conduct of the Tenant, another occupant of the Rented Premises or a person permitted on the Rented Premises by the Tenant.

d) To Maintain

- (i) The Tenant agrees to keep the Rented Premises clean. The Tenant further agrees to dispose of garbage and recyclables appropriately. The Tenant shall pay for any damage to the Rented Premises where such damage is caused by the wilful or negligent conduct of the Tenant, any of the Permitted Occupants, or any person permitted into the Rented Premises by the Tenant or a Permitted Occupant. The Tenant shall not make or permit to be made any alteration to or decoration of the Rented Premises without the prior written consent of the Port.
- (ii) The Tenant agrees to maintain the landscaping, including erosion control, snow removal, tree trimming and tree care, mowing and weeding.

e) To Pay Utilities

To pay, when due, all charges for utilities used in the Rented Premises including, but not limited to, water rates, electrical rates, telephone rates and gas rates. The Tenant shall also pay for apparatus, meters and other things leased or purchased in connection with utility services provided to the Rented Premises, and for all work performed by anyone in connection with such utilities; and for its proportionate share of maintenance of access roads;

f) To Permit Entry by Port

- (i) To permit the Port the right to enter on the Rented Premises at any time without written notice in the event of an emergency.
- (ii) To permit the Port to enter on the Rented Premises on giving at least twenty-four (24) hours' written notice of entry for the purposes specified in the Act or any successor Act. Such written notice shall specify the day of entry and, to the extent possible, the approximate time of entry. The Tenant acknowledges and agrees that it is good and sufficient notice for the Port to specify a range of hours, such as between 8:00 a.m. and 8:00 p.m., in specifying the proposed time of entry.
- (iii) To permit the Port the right to enter on the Rented Premises to conduct inspections, view the state of repair, take photographs and make such renovations, repairs, alterations, and changes of any kind whatsoever in and about the Rented Premises which, in the Port's sole discretion, are necessary or desirable (the "Changes"). Entry shall be conducted in accordance with the requirements of the Act or any successor Act. The Tenant shall permit the Port, its officers, agents, contractor, and employees to enter the Rented Premises from time to time between the hours of 8:00 a.m. and 8:00 p.m. to make the Changes. The Tenant acknowledges that such entry and the making of the Changes shall not constitute a breach of any express or implied covenant of quiet enjoyment or possession, or both.
- (iv) Notwithstanding the foregoing, the Port shall have the right, at anytime, without notice, to access the waterfront for the purposes of water sampling after and during major rain events in compliance with the Post Certificate of Approval for Sewage issued by the Ministry of Environment.

g) To Comply With All Laws

To comply promptly with and conform to the requirements of all applicable statutes, laws, by-laws, regulations, ordinances and orders at any time in force during the Term which affect the condition, equipment, maintenance, use or occupation of the Rented Premises.

h) Not to Carry on a Nuisance

Not to carry on or permit to be carried on upon the Rented Premises or Right of Way any occupation or business which shall by the Port be deemed a nuisance; nor use, exercise or carry on or permit to be used, exercised or carried on, in or upon the Rented Premises or Right of Way or any part thereof, any noxious, noisome or offensive art, trade, business operation, occupation, or calling and that no act, matter or thing whatsoever shall at any time during the Term be done in, upon or about the Rented Premises or Waterlot or Right of Way or any part thereof that shall or may be or grow to the annoyance, damage or disturbance of the Port or occupiers or owners of the adjoining or nearby lands or premises;

i) Not to Assign

- (i) The Tenant agrees not to assign or sublet the Rented Premises without first requesting in writing the Port's permission to assign or sublet the Rented Premises to the proposed assignor or subtenant and receiving the Port's permission, in writing, to do so, which request shall not be arbitrarily or unreasonably refused. It is agreed and understood by the Tenant that a request to assign or sublet the Rented Premises to a proposed assignee or subtenant is not made until the Tenant and the proposed assignee or subtenant have provided to the Port, in writing, delivered in person or by mail to the Port at the address shown on page one of this Tenancy Agreement, all of the information requested by the Port, an executed written Assignment or Sublease Agreement on the Port's standard form that is conditional on the acceptance of the Port and which, in the case of a sublease, specifies a termination date that is prior to the end of the Term of this Tenancy Agreement, or any renewals hereof, or that is prior to the last day of the month in which the sublet is proposed to take effect in the case of the sublet of a monthly tenancy, and the Tenant has paid the Port's non-refundable administration and processing fee for expenses incurred in processing the Tenant's request. Payment of the assignment or sublet fee does not constitute acceptance of the proposed assignee or subtenant. A subtenancy, if accepted, shall not be amended without the Port's written consent, which consent the Port may arbitrarily withhold. The Port shall communicate acceptance of the proposed assignment or sublet in writing to the Tenant. In the absence of such written acceptance, it is understood and agreed by the Port and the Tenant that the proposed assignee or subtenant has been refused as unsuitable or as having failed to provide sufficient information to allow the application for assignment or sublet to be processed.
- (ii) Consent by the Port to an assignment or a sublet of the Rented Premises is not a waiver of the Port's rights or remedies against the Tenant for any arrears of Rent or damages incurred by the Port, whether caused by the wilful or negligent conduct of the Tenant or any Permitted Occupant, assignee, subtenant or any person allowed by any of them on or in the Rented Premises. The Tenant shall be responsible for assigning or subletting the Rented Premises, and the Port's consent to permit the Tenant to assign or sublet the Rented Premises does not relieve the Tenant of this responsibility. The rent paid by the subtenant to the Tenant shall not exceed the Rent payable by the Tenant to the Port. The Tenant acknowledges that all subtenants must be approved as suitable.
- (iii) In the event of an assignment or sublet of the Rented Premises, the Tenant shall continue to be bound by all the provisions of this Tenancy Agreement, including the obligation to pay Rent, throughout the term of this Tenancy Agreement and any subsequent renewals thereof, until this tenancy is terminated. Upon termination of this tenancy, the assignee or subtenant must vacate the Rented Premises. The Tenant acknowledges that, if consent to assign or sublet the Rented Premises to a proposed assignee or subtenant is given, then any application or other notice required to be given by the Port to the Tenant under the Act or any successor Act, is properly given by delivery to the Tenant at the address of the Rented Premises and, without limitation, in the case of an assignment, the Tenant does not require

the Port to give the Tenant a copy of any application or notice under such legislation. In the case of a subtenancy approved by the Port, Rent paid to the Port during the term of such subtenancy is deemed to be Rent paid on behalf of the Tenant.

j) No Tracked Equipment

Not to permit any tracked vehicle(s) (including, without limiting the generality of the foregoing, any bulldozers and/or cranes) to use the Right of Way or any other of the lands or roadways owned or controlled by the Port without the prior written consent of the Port.

Section 7.0 Port's Consent required for Alterations

- a) The Tenant covenants not to erect, install or construct any buildings, structures, foundations, pilings, plant, drains, sewers, water mains, roadways, machine foundations, railway sidings, fixtures or any other installations or to place any fill materials upon or forming part of the Rented Premises without the prior written consent of the Port. If approved, all such erections, installations and construction shall be made, erected and installed at the Tenant's own expense and upon such terms as the Port may dictate.
- b) If any construction lien be registered against the Rented Premises (or any part thereof) as a result of work done or materials supplied to the Rented Premises, the Tenant covenants and agrees to obtain and register a discharge of such lien within ten (10) days thereafter; and if the Tenant fails to do so, the Port may pay into court the amount required to obtain such a discharge, in the name of the Tenant, and the amount so paid, together with all disbursements and costs of such proceedings on a solicitor and his client basis, shall be payable by the Tenant to the Port and may be collected as Additional Rent.

Section 8.0 Removal of Buildings and Equipment

On the termination of this Lease or any renewal thereof, the Tenant shall remove from the Rented Premises any buildings, structures, foundations, pilings, machinery, plant, equipment and fixtures which have been erected, installed or placed thereon, including drains and the proper de-commissioning of any well and shall level up and restore the surface of the Rented Premises and leave in a trim and clean condition, and any such buildings, structures, foundations, pilings, machinery, plant, equipment and fixtures which are not removed at the date of the termination of this Lease may be removed by the Port at the cost and expense of the Tenant.

Section 9.0 Insurance

- a) Throughout the Term, the Tenant shall take out and maintain, at the Tenant's sole expense, in such form and with such companies as the Port may reasonably require, the following insurance coverage:
 - (i) To insure and keep fully insured (without any right of subrogation to the Insurer) all insurable buildings, goods, merchandise and other property upon the Rented Premises in which the Tenant has an insurable interest, which are liable to loss or damage by any and all risks;
 - (ii) General liability insurance in an amount no less than one million dollars (\$1,000,000.00) per occurrence (or such greater amount that the Port reasonably deems advisable) in respect of any injury to or death of person or persons or property damage due to or arising out of the Tenant's business, use or occupation of the Rented Premises; waterlot, and right of way;
 - (iii) Any other form of insurance which the Port, as a prudent and reasonable owner, may deem advisable.
- b) The aforesaid insurance shall name the Tenant and the Port as the named insured, with loss payable to the Tenant and to the Port. Notwithstanding any contribution by the Tenant to the cost of the insurance referred to in this Section 9.0, the Tenant acknowledges and agrees that:
 - (i) The Tenant is not relieved of any liability arising from or contributed to by its negligence or its willful act or omission; and
 - (ii) All proceeds of any insurance policies referred to in this Section 9.0 shall be endorsed by the Tenant in favour of the Port forthwith following receipt thereof.

- c) All policies of insurance maintained by the Tenant pursuant to this Section 9.0 shall provide that such insurance may not be terminated, canceled or materially altered unless thirty (30) days' written notice of such termination, cancellation or material alteration is given by the insurers to the Port. The Tenant shall, prior to gaining entry to all or part of the Rented Premises, deliver to the Port certificates of such insurance, or at the Port's option, certified copies of all insurance policies. Current certificates of insurance and/or certified copies of all insurance policies shall be submitted by the Tenant to the Port each and every year on the anniversary date of this Lease.

Section 9.1

- a) The Tenant acknowledges and agrees that:
 - (i) Not to make improvements or to permit and/or to omit procedures and/or operations on the Rented Premises without adequately insuring such improvements and changes;
 - (ii) Not to do or omit or permit to be done or omitted upon the Rented Premises anything which may cause any insurance policy to be canceled or make it impossible to obtain adequate insurance protection in respect of the Rented Premises or any buildings, machinery or fixtures thereon or shall cause any insurance policy of the Port or of the Port's tenants of adjacent or nearby lands to be canceled or make it impossible to obtain any insurance policy or shall cause the premium of any policy to increase; and
 - (iii) In the event that the insurance premiums of the Port and/or the tenants of the Port are increased on such real and personal property as the Port and/or the tenants of the Port may from time to time see fit to insure, as a direct result of the use made by the Tenant of the Rented Premises, or from or by reason of any of the privileges granted to the Tenant hereunder, the Tenant covenants to pay to the Port and/or the said tenants, as the case may be, the amount of such increased premium or premiums upon receipt of due proof that the increased premium or premiums have been charged as a direct result of the use made by the Tenant of the said Rented Premises or from or by reason of the exercise of any privileges granted to the Tenant hereunder.

Section 9.2

Neither the Tenant or anyone claiming by, through or under or on behalf of the Tenant shall have any claim, right to action or right of subrogation against the Port, its agents or employees, for or based upon any injury, loss or damage to any person or persons or to the Rented Premises or any property therein or thereon, caused by fire, explosion or any other peril covered by any policies of insurance maintained with respect to the Rented Premises, whether or not such injury, loss or damage results or arises from a negligent act or omission of the Port, its agents or employees, or any other person(s) for whom the Port is in law responsible except to the extent that such injury or loss is due to the gross negligence of the Port or its agents or employees, and the Tenant covenants and agrees that any and all policies of insurance providing coverage as aforesaid shall be forthwith endorsed with a waiver of any and all subrogation rights which might otherwise vest in the insurer of such policy or policies of insurance.

Section 10.0 Acceptance of Premises by Tenant

The Tenant accepts the Rented Premises in their present condition and as fit and sufficient for the purposes of the Tenant.

Section 11.0 Insolvency

Where the Tenant has become insolvent and has filed a consumer proposal within the meaning of the *Bankruptcy and Insolvency Act*, R.S.C. 1985, c. B-3 as amended, or has become bankrupt, then the provisions of this clause of the Tenancy Agreement apply. The Tenant shall inform the Port of the Tenant's insolvency and/or bankruptcy forthwith. The Port shall rank as a preferred creditor in respect of any arrears of Rent pertaining to the three (3) months preceding the date of insolvency or bankruptcy, whichever applies. Upon the Tenant becoming bankrupt, the Term of this Tenancy Agreement is converted to a month-to-month tenancy, notwithstanding that there may have been an unexpired portion of the original Term. All other covenants and provisions of this Tenancy Agreement continue to apply. On the day following the date on which the Tenant files a consumer proposal or becomes bankrupt, whichever applies, the Tenant's obligation to pay Rent shall immediately commence for the balance of the month in which the Tenant files a consumer proposal

or becomes bankrupt, as applicable, and thereafter Rent shall be payable in advance on the first day of each month. The Port shall rank as a preferred creditor in respect of accumulated arrears for use and occupation of the Rented Premises until sixty (60) days following the date that the Tenant gives vacant possession to the Port, or until the Premises are re-rented, whichever is earlier. Any arrears following the date of bankruptcy are to be calculated on the basis of a per diem of the Rent payable under this Tenancy Agreement.

Section 12.0 Railway Siding

- a) A railway siding in the location shown, coloured **ORANGE** on the plan annexed to Schedule "A" is the property of the Port, and the Port reserves the right to keep the said siding in the location shown on the plan annexed hereto for as long as the Port so desires.
- b) The Tenant shall, at all times when rail traffic is operating over said trackage, keep vehicles, trucks, moveable equipment and property of all kinds upon the said Rented Premises of its own or third parties clear of the siding and at a distance of not less than six (6) feet from the gauge side of the nearest rail of the said trackage, and shall at all times maintain a vertical clearance of not less than twenty-two feet, six inches (22'6") above rail level or such greater lateral or vertical clearances as may from time to time be prescribed by the Canada Transportation Agency or other governing body.
- c) The Port or its agents (including but not limited to any railroad operator or track maintenance company) from time to time operating the said siding shall not be liable on account of any injury or loss arising from such operation, which may be suffered by the Tenant or its servants or that may at any time occur in respect of any of the buildings, vehicles, erections, materials, goods, chattels or other property situate on the said siding and/or the Rented Premises, except to the extent that such injury or loss is due to the gross negligence of the Port or its agents or employees.
- d) The use of the railway siding by the Tenant is strictly prohibited.
- e) The Tenant acknowledges and agrees that;
 - (i) the Tenant shall not construct or alter any railway crossing to the Rented Premises without written consent of the Port.

Section 13.0 Port of Johnstown Operations

- a) The Tenant acknowledges that the property being leased (or developed) is adjacent to or in proximity to a working industrial port area, where operations may take place on a 24 hour basis. The Tenant agrees that the Port is under no obligation to provide any of the following:
 - (i) Mitigation for noise, lighting, traffic, or other activities associated with the operations of the port, as well as direct or indirect activity caused by the Port;
 - (ii) Mitigation or relief from any traffic or other inconvenience caused by direct or indirect activities associated with the Port;
 - (iii) Financial relief or other measures associated with any type of proposed mitigation by the lease.

Section 14.0 Deemed Renewal

- a) When the Term of this Tenancy Agreement expires, and in the absence of a subsequent written renewal agreement, this Tenancy Agreement shall be deemed to be renewed as a monthly tenancy pursuant to s. 38 of the Act or any successor Act, on the same terms and conditions as this Tenancy Agreement except:
 - (i) the Rent payable by the Tenant to the Port shall be the rent which the Port may charge from time to time pursuant to the provisions of the Act or any successor Act; and
 - (ii) the Tenant shall not have the right to sublet the Rented Premises for a sublet term that extends beyond the day that is one day prior to the last day of the month in which the sublet takes effect.

Section 15.0 Partial Invalidity

Any term, condition, covenant or provision of this Tenancy Agreement that is determined to be invalid or unenforceable shall be severed from this Tenancy Agreement and the remainder of this Tenancy Agreement, and any renewals hereof and the rules and regulations, as amended from time to time, shall remain in full force and effect.

Section 16.0 Entire Agreement

- a) The Tenant acknowledges that prior to signing this Tenancy Agreement the Tenant has read and understands this Tenancy Agreement, and consents to all of the covenants, terms, conditions and provisions of this Tenancy Agreement. This Tenancy Agreement and the Tenancy Application constitute the entire agreement between the Port and the Tenant with respect to the Rented Premises and supersede and take the place of any and all previous agreements and representations of any kind, written or verbal, that may have previously been made relating to the Rented Premises or the Premises, by the Port or any of its employees or agents.
- b) This Tenancy Agreement shall not be amended, modified or waived in whole or in part except by further written agreement attached to or endorsed on this Tenancy Agreement by the Port or the Port’s authorized agent and the Tenant.

(Tenant to Initial here) _____

Section 17.0 Enurement

The covenants and agreement herein contained shall extend to, bind and enure to the benefit of the heirs, executors, administrators and successors and assigns of the parties hereto respectively, except where otherwise hereinbefore expressed, excepted or provided.

[Signature Page Follows]

IN WITNESS WHEREOF the parties hereto have executed this Agreement as of

_____.

**The Corporation of the Township of Edwardsburgh/Cardinal
(Port of Johnstown Division)**

By:

Per: _____
Name: Tory Deschamps
Title: Mayor

Per: _____
Name: Sean Nicholson
Title: Chief Administrative Officer

Per: _____
Name: Robert Dalley
Title: General Manager, Port of Johnstown

We have authority to bind the corporation

Witness

William Berube

Witness

Judy Berube

RECEIPT OF TENANCY AGREEMENT

The Tenant(s) acknowledge(s) receipt of an executed copy this Tenancy Agreement this _____ day of _____, _____. I/We have authority to accept a copy of this Tenancy Agreement on behalf of myself/ourselves and all Tenants and Guarantor(s) identified in this Tenancy Agreement.

Date: _____

William Berube

Judy Berube

SCHEDULE "A"

DESCRIPTION OF RENTED PREMISES

PORT OF JOHNSTOWN PARCEL P-42

All and singular that certain parcel or tract of land and premises situate lying and being in the Township of Edwardsburgh/Cardinal, in the province of Ontario.

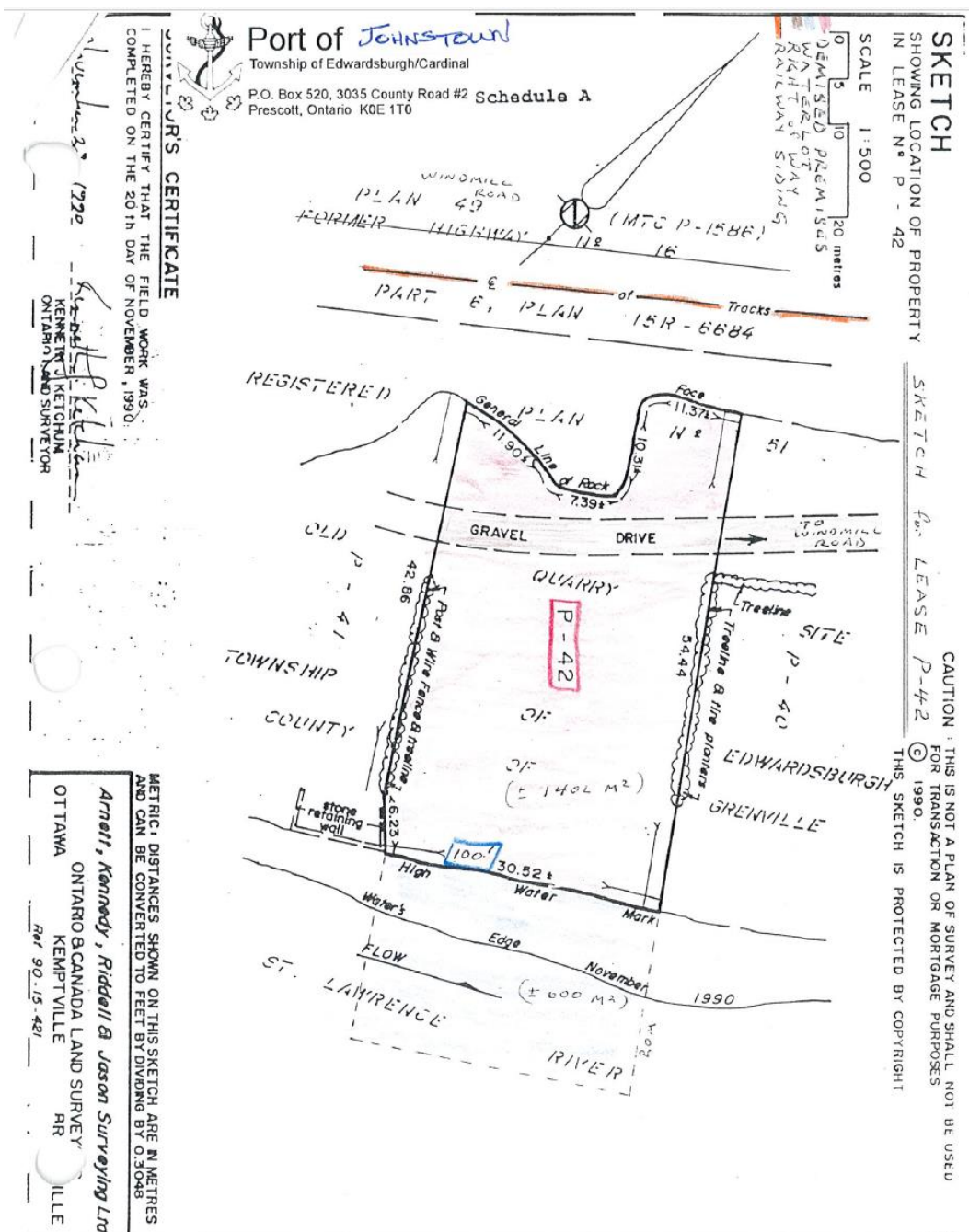
Being composed of part of those lands of Port of Johnstown, described in Schedule "B", and which parcel or tract of land is designated by the colour **RED** on the attached sketch made by Kenneth J. Ketchum, O.L.S., dated Nov 28, 1990.

The above described parcel of land contains by admeasurement 1,042 square metres (15,086 square ft.) and has frontage on the St. Lawrence River of 100 ft., be the same more or less.

TOWNSHIP OF EDWARDSBURGH/CARDINAL
 UNITED COUNTIES OF LEEDS & GRENVILLE
 PROVINCE OF ONTARIO

PORT OF JOHNSTOWN
 Per:

Robert Dalley
 GENERAL MANAGER



SCHEDULE "B"

**DESCRIPTION OF SURVEYED PARCEL OF WHICH
SCHEDULES A, C & D FORM PART**

All and singular that certain parcel or tract of land between the right-of-way of Provincial Highway No. 2 and the St. Lawrence River, extending from Johnstown Creek Bridge to Government Reserve for Windmill Point Lighthouse, in front of part of Townsite of Johnstown and Lots 31, 32, 33 and part of 34, situate, lying and being in Concession 1, of the Township of Edwardsburgh / Cardinal, in the County of Grenville, Province of Ontario, and more particularly described as follows:

Commencing at the southeast corner of the West Abutment of Provincial Highway bridge over Johnstown Creek; thence south thirty-five degrees and forty minutes west (S35 40'W) three hundred and seventy-one and thirty-five hundredths feet (371.35') to a point being the intersection of the south limit of the right-of-way of Provincial Highway No. 2 and the top of the bank of the St. Lawrence River; thence in a southwesterly direction following said south limit of right-of-way of Provincial Highway No. 2 to a point being the intersection of said south limit of Highway right-of-way with the easterly limit of Dominion Government Reserve for a lighthouse at Windmill Point, said Government Reserve being described in deed from Bernard Kean to Her Majesty Queen Victoria in Book "F", Township of Edwardsburgh, Registry Office, Prescott, ON., and date March 1st, 1873, and registered July 14th, 1873; thence in a southeasterly direction following the said easterly limit of dominion Government Reserve to the shore line of the St. Lawrence River; thence in a northeasterly direction following the original shore line of the St. Lawrence River to the point of commencement containing approximately twenty-seven and four tenths acres (27.40 acres) as shown edged in pink on the plan attached to Order in Council P.C. 397 of February 27, 1937. All bearings are astronomic.

SCHEDULE "C"

DESCRIPTION OF WATERLOT

All and singular that certain parcel or tract of land and premises situate, lying and being in the Township of Edwardsburgh/Cardinal, in the Province of Ontario.

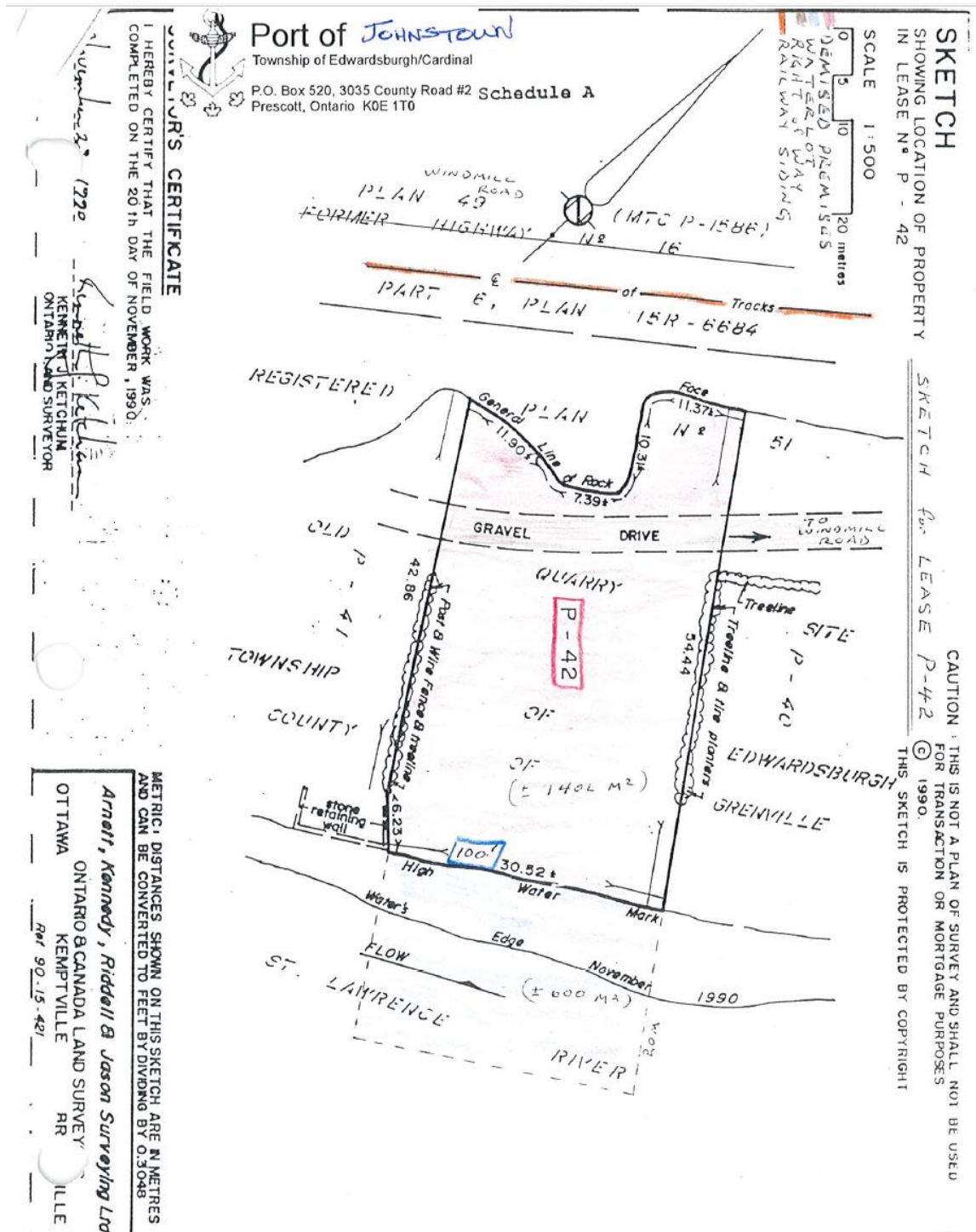
Being composed of part of the lands of the Port of Johnstown, covered by water and which parcel is designated by the colour **BLUE** on the attached plan.

Generally described, the Waterlot, is an unsurveyed parcel of foreshore and submerged land extending a distance of 20 metres into the St. Lawrence River from the high water mark of the shoreline along the southern edge of the Rented Premises.

PORT OF JOHNSTOWN

Per:

Robert Dalley
GENERAL MANAGER



CONVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THE FIELD WORK WAS COMPLETED ON THE 20th DAY OF NOVEMBER, 1990.
1 November 1990
Kenneth J. Ketchum
KENTHUM & KETCHUM
ONTIARIO LAND SURVEYOR

METRIC DISTANCES SHOWN ON THIS SKETCH ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048
Arnott, Kennedy, Riddell & Jason Surveying Ltd
ONTARIO & CANADA LAND SURVEY
OTTAWA KEMPTVILLE RR
KEMPTVILLE
RR
LILLE
Ref 90-15-421

SCHEDULE "D"

DESCRIPTION OF RIGHT OF WAY

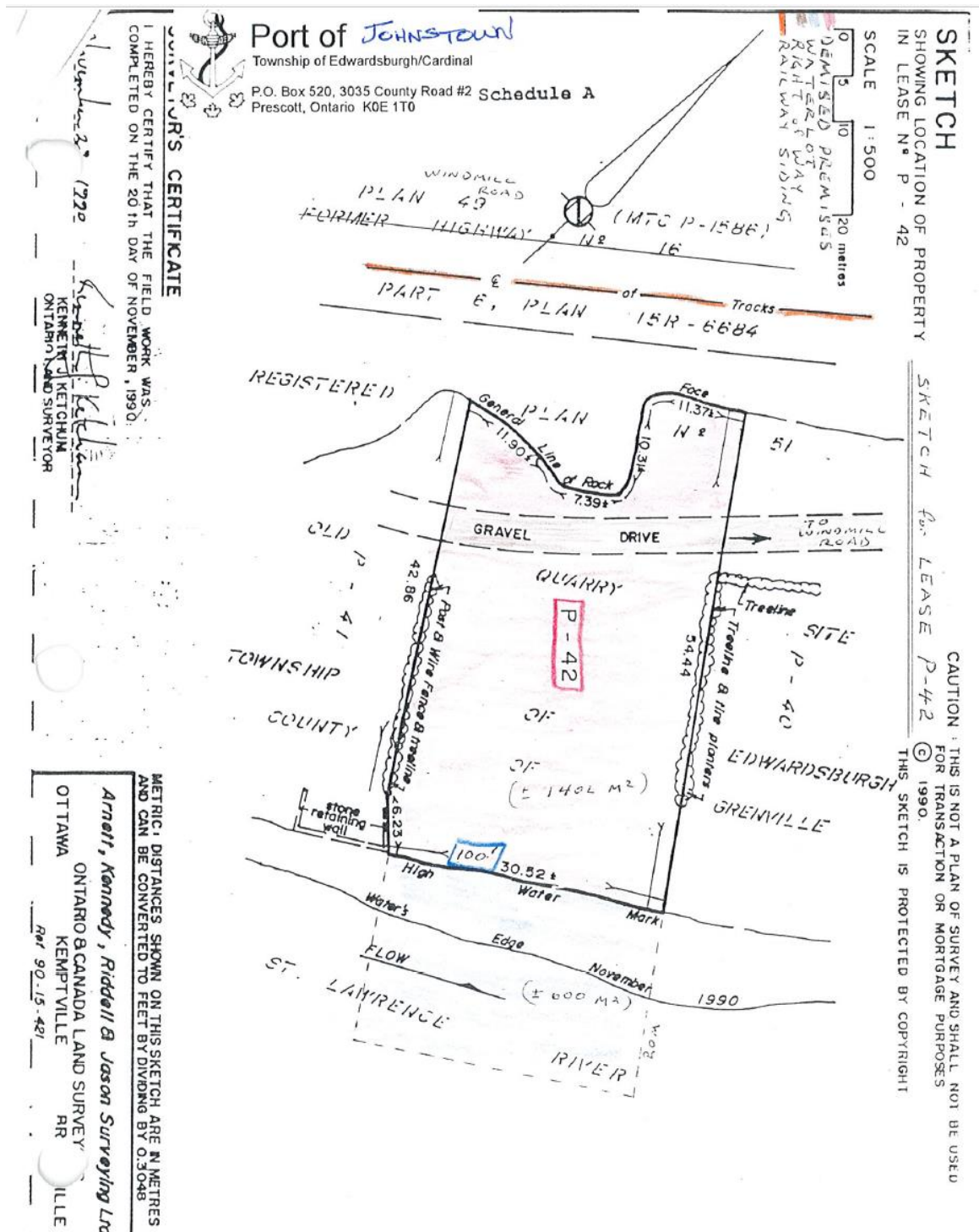
All and singular that certain parcel or tract of land and premises situate, lying and being in the Township of Edwardsburgh/Cardinal, in the Province of Ontario.

Being composed of part of the lands of the Port of Johnstown, the right of way is designated by the colour **BROWN** and shown on the attached plan in its approximate location.

Generally described, the right of way runs from Windmill Road to the Rented Premises. The right of way has a width of 4 metres more or less.

PORT OF JOHNSTOWN
Per:

Robert Dalley
GENERAL MANAGER



**THE CORPORATION OF THE TOWNSHIP OF
EDWARDSBURGH CARDINAL**

BY-LAW NO. 2024-

**“A BY-LAW TO AMEND BY-LAW 2023-06 TO APPOINT MEMBERS AND
REPRESENTATIVES TO CERTAIN BOARDS AND COMMITTEES”**

WHEREAS By-law 2023-06, being a by-law to appoint members and representatives to certain boards and committees was passed by Municipal Council at its regular meetings of January 30, 2023;

AND WHEREAS it is deemed expedient to amend said by-law;

NOW THEREFORE BE IT RESOLVED that the Council of the Corporation of the Township of Edwardsburgh Cardinal enacts as follows:

1. That Section 4 of the Livestock Investigator appointment be amended as follows:

Removal of: Conor Cleary
2. That all other provisions of by-law 2023-06, as amended, shall remain in force and effect.
3. That this by-law shall come into force and take effect upon passing

Read a first and second time in open Council this 26 day of August, 2024.

Read a third and final time, passed, signed and sealed in open Council this 26 day of August, 2024.

Mayor

Clerk

**CORPORATION OF THE
TOWNSHIP OF EDWARDSBURGH CARDINAL**

BY-LAW NO. 2024-

**“BEING A BY-LAW TO AUTHORIZE THE EXECUTION OF A SITE PLAN
CONTROL AGREEMENT WITH DENIS SIMARD”**

WHEREAS the Council of the Corporation of the Township of Edwardsburgh Cardinal deems it advisable to enter into a Site Plan Control Agreement with Denis Simard respecting development of a property described as:

PART 1 OF 15R-12378
TOWNSHIP OF EDWARDSBURGH/CARDINAL

WHEREAS Authority is granted under Section 41 of the Planning Act, RSO 1990, c.P. 13, as amended to the Council of the Corporation of the Township of Edwardsburgh Cardinal to enter into and amend such agreements; and

NOW THEREFORE BE IT RESOLVED THAT the Council of the Corporation of the Township of Edwardsburgh Cardinal enacts as follows:

1. That the Mayor and Clerk are hereby authorized to execute an agreement with Denis Simard and that a signed copy of said agreement is attached hereto as Schedule “A”.
2. That this by-law shall come into force and effect upon passing.

Read a first and second time in open Council this 26 day of August, 2024.

Read a third and final time, passed, signed and sealed in open Council this 26 day of August, 2024.

Mayor

Clerk

**THE CORPORATION OF THE
TOWNSHIP OF EDWARDSBURGH/CARDINAL
SITE PLAN CONTROL AGREEMENT**

THIS AGREEMENT made in triplicate this ____ day of _____, 2024

BETWEEN: DENIS SIMARD

Hereinafter called the "Owner" of the first part

AND: THE CORPORATION OF THE TOWNSHIP OF EDWARDSBURGH/CARDINAL

Hereinafter called the "Township" of the second part

WHEREAS the Owner has applied to the Township in accordance with the Site Plan Control provisions of Bylaw No. 2023-47, to permit the development of the lands described in Schedule "A" attached hereto;

AND WHEREAS the Owner has agreed with the Township to undertake, furnish and perform the works, material, matter and things required to be done, furnished and performed in the manner hereafter described in connection with the proposed use of the land and in conformity with the Zoning Bylaw;

NOW THEREFORE THIS AGREEMENT WITNESSETH THAT in consideration of other good and valuable consideration and the sum of two dollars (\$2.00) of lawful money of Canada now paid by the Owner to the Municipality, the receipt of which is hereby acknowledged, the Parties hereby agree as follows:

1. Land to Which this Agreement Applies

This is an agreement made pursuant to the provisions of Section 41 of the Planning Act, RSO 1990. as amended, and applies to the lands described in Schedule "A" to this agreement.

2. Statutes, Bylaws, Licenses, Permits and Regulations

The Owner undertakes and agrees that prior to the commencement of any development, redevelopment, site alteration, construction or other works, the Owner shall obtain all necessary permits and approvals required by the

**SITE PLAN CONTROL AGREEMENT
BETWEEN DENIS SIMARD AND
THE TOWNSHIP OF EDWARDSBURGH CARDINAL**

Government of Canada, the Province of Ontario or any agency thereof, the Township and any other affected agency. The Owner undertakes and agrees to comply with the requirements of all relevant municipal bylaws, provincial and federal statutes and regulations, permits, approvals or licenses in addition to the terms of this agreement.

3. Schedules

The Owner hereby agrees that prior written approval by the Township and/or an amendment to a Schedule shall be required for any departure, change or modification from the Schedules.

The following list of schedules attached hereto are deemed to be and form part of this Agreement:

- 3.1 Schedule "A" -Legal Description of the Land to which this Agreement applies.
- 3.2 Schedule "B" -Site Plan
- 3.4 Schedule "C" -Special Conditions

4. Registration of Agreement and Commencement of Work

The Owner covenants that he/she/they shall not commence any development or site alteration whatsoever until this Agreement is registered on title against the land at the expense of the Owner.

5. Completion Date

The owner agrees to complete the work required under this Agreement within two (2) years of the date of the commencement of works. Notwithstanding, if exceptional circumstances prevent the owner from complying with the requirements, the Township may extend the completion date.

6. Default

In the event the Owner defaults in the performance of an obligation under this agreement or for reasons of public safety as determined by the Chief Building Official under the Building Code Act of Ontario or the Fire Marshall under the Fire Protection & Prevention Act of Ontario, the Township may, at the expense of the Owner, enter upon the lands and do all such matters and things as may be required to comply with any Order of the Chief Building Official or Assistant to the Fire Marshall (local Fire Chief). Such actual costs incurred by the Township plus

**SITE PLAN CONTROL AGREEMENT
BETWEEN DENIS SIMARD AND
THE TOWNSHIP OF EDWARDSBURGH CARDINAL**

an overhead charge of 15%, shall be deemed to be recoverable from the Owner by invoice and may be recovered in like manner as municipal taxes pursuant to the Municipal Act.

7. Facilities and Work to be Provided and Maintained

The Owner covenants and agrees to provide and maintain, at his/her/their sole expense each and every facility, work or other matter illustrated on the Schedules to the satisfaction of the Township, acting in a commercially reasonable manner, and to engage qualified professionals, where required, to design and carry forth any of the work undertaken under this Agreement. This shall include the restoration of any faulty workmanship or materials.

8. Certificate of Compliance

Upon the satisfactory completion of all matters and things to be provided and maintained by the Owner pursuant to this Agreement, the Owner shall be entitled to obtain a Certificate of Compliance from the Township confirming that all provisions of this Agreement have been complied with in full to the date of such Certificate.

9. Notice to Parties

Any Notice by any party to this agreement to another shall be given in writing and mailed or delivered to the Party:

9.1 In the case of the Municipality:

To the Clerk of the Township of Edwardsburgh/Cardinal
18 Centre Street
P.O. Box 129
Spencerville, ON KOE 1X0

9.2 In the case of the Owner(s):

Denis Simard
163 Shanly Road
P.O. Box 640
Cardinal, ON K0E 1E0

**SITE PLAN CONTROL AGREEMENT
BETWEEN DENIS SIMARD AND
THE TOWNSHIP OF EDWARDSBURGH CARDINAL**

10. Severability

The terms of this agreement are severable, and the unenforceability of any part hereof shall not render the whole unenforceable. No forbearance or failure by the Township to strictly enforce any term or covenant herein shall prevent the Township from insisting upon strict compliance by the Owner subsequent to such forbearance or failure to strictly enforce its terms. The terms of this agreement may not be altered except by a subsequent agreement in writing between the parties.

11. Successors and Assigns

This Agreement shall ensure to the benefit of and be binding upon the respective heirs, personal representatives, successors and assigns of each of the parties hereto.

12. Force and Effect

This Agreement comes into force after it has been executed by all parties hereto and registered against the title to the lands described in Schedule "A".

IN WITNESS WHEREOF the Parties have hereunto set their hands and seals, corporate parties over the hand(s) of their duly authorized signing officers in that regard.

OWNER/AUTHORIZED AGENT

Owner
I have the authority to bind the corporation.

CORPORATION OF THE TOWNSHIP OF
EDWARDSBURGH/CARDINAL

Mayor

Clerk
We have the authority to bind the corporation.

**SITE PLAN CONTROL AGREEMENT
BETWEEN DENIS SIMARD AND
THE TOWNSHIP OF EDWARDSBURGH CARDINAL**

SCHEDULE "A"

Site Plan Control Agreement

DESCRIPTION OF THE PROPERTY

PART 1 OF 15R-12378 (attached)

SCHEDULE				
PART	LOT	PLAN	PIN	AREA
1	PART OF 374, 375, 376, 377 & PART OF MARJORIE ST. (CLOSED BY BY-LAW 91-9, INST PR112030)	25	ALL OF 68151-0069(LT)	0.124 ha
2	PART OF 363, 364, 372, 373 & 374			0.183 ha

PLAN 15R-12378
 Received and deposited
 November 29th, 2023
 Kevin Oikonen
 Representative for the
 Land Registrar for the
 Land Titles Division of
 Grenville (No.15)

PLAN OF SURVEY OF
 LOT 374 & PART OF LOTS 363,
 364, 372, 373, 375, 376, 377
 & PART OF MARJORIE STREET
 (CLOSED BY BY-LAW 91-9,
 INST PR112030)
 REGISTERED PLAN 25
 FORMERLY THE VILLAGE OF CARDINAL
 TOWNSHIP OF EDWARDSBURGH/CARDINAL
 COUNTY OF GRENVILLE
 SCALE: 1:250

- LEGEND**
- DENOTES PLANTED MONUMENT
 - DENOTES FOUND MONUMENT
 - SIB DENOTES STANDARD IRON BAR
 - SSIB DENOTES SHORT STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - CM DENOTES CONCRETE MONUMENT
 - CC DENOTES CUT CROSS
 - CP DENOTES CONCRETE PIN
 - PB DENOTES PLASTIC BAR
 - IP DENOTES IRON PIPE
 - Ø DENOTES ROUND
 - WIT DENOTES WITNESS
 - ACC DENOTES ACCEPTED
 - MEAS DENOTES MEASURED
 - INST DENOTES INSTRUMENT
 - x-x DENOTES FENCE
 - SU DENOTES SOURCE UNKNOWN
 - P1 DENOTES PLAN 15R-7798
 - P2 DENOTES PLAN 15R-8130
 - P3 DENOTES PLAN 15R-8679
 - P4 DENOTES PLAN 15R-9601
 - P5 DENOTES PLAN 15R-11455
 - P6 DENOTES PLAN 15R-11787
 - P7 DENOTES REGISTERED PLAN 25

BEARING NOTES
 BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK OBSERVATIONS, UTM ZONE 18, NAD83(CRS) (2010).
 FOR BEARING COMPARISONS, THE FOLLOWING ROTATION WAS APPLIED:
 P1, P2, P3, P4 = 00°04'20" CLOCKWISE

DISTANCE NOTES - METRIC
 DISTANCES AND COORDINATES ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.
 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.9996029.

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON OCTOBER 31, 2023.

NOVEMBER 28, 2023
 DATE
 THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-64752

INTEGRATION DATA

OBSERVED REFERENCE POINTS DERIVED FROM GPS OBSERVATIONS USING A REAL TIME NETWORK AND ARE REFERRED TO UTM ZONE 18 (75° WEST LONGITUDE) NAD83(CRS) (2010).

POINT ID	NORTHING	EASTING
A	4959520.82	4694402.24
B	4959618.70	469536.38

URBAN ACCURACY PER SEC. 14(2), O.REG. 216/10.

CAUTION: COORDINATES CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

IBW SURVEYORS
 IBWSURVEYORS.COM | 1.800.667.0696

PARTY CHIEF: BP | DRAWN BY: BM | CHECKED BY: RJ | PLOT DATE: •
 FILE NAME: A-044883-V2 | copies available at LandSurveyRecords.com



**SITE PLAN CONTROL AGREEMENT
BETWEEN DENIS SIMARD AND
THE TOWNSHIP OF EDWARDSBURGH CARDINAL**

SCHEDULE "B"

Site Plan Control Agreement

SITE PLAN

EXHIBITS: The following Exhibits attached hereto shall form part of this Schedule:

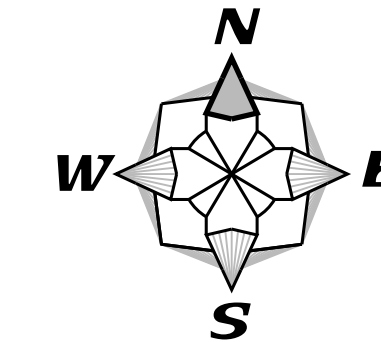
Exhibit 1- SP1 Existing Conditions

Exhibit 2- SP3 Site Plan Control

Contractor to Verify ALL DIMENSIONS of proposed elements before layout / construction. All work to be in accordance with the latest edition of the Ontario Building Code and Local By-Laws. These plans are under the full responsibility and liability of the Home Owner, Builder and/or Contractor listed as the Project Client/Builder. Annable Designs Co. Ltd. and the undersigned waives any and all responsibility and/or liability for problems which arise from failure to follow the plans (as a whole and in complete form) and the design intent in which they convey, or from problems which arise from failure to obtain and/or follow the design firm guidance with respect to any errors, omissions, inconsistencies, ambiguities or conflicts which are alleged.

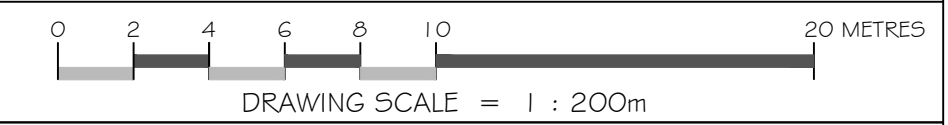
Annable Designs Co. Ltd.

All Official Plans are stamped with RED INK of our "Official Plans for Permit / Construction" stamp. In addition to our BCIM holders sign-off. If plans are not in original red ink and signed they are to be considered invalid plans / not for official use and should be reported to our offices immediately.

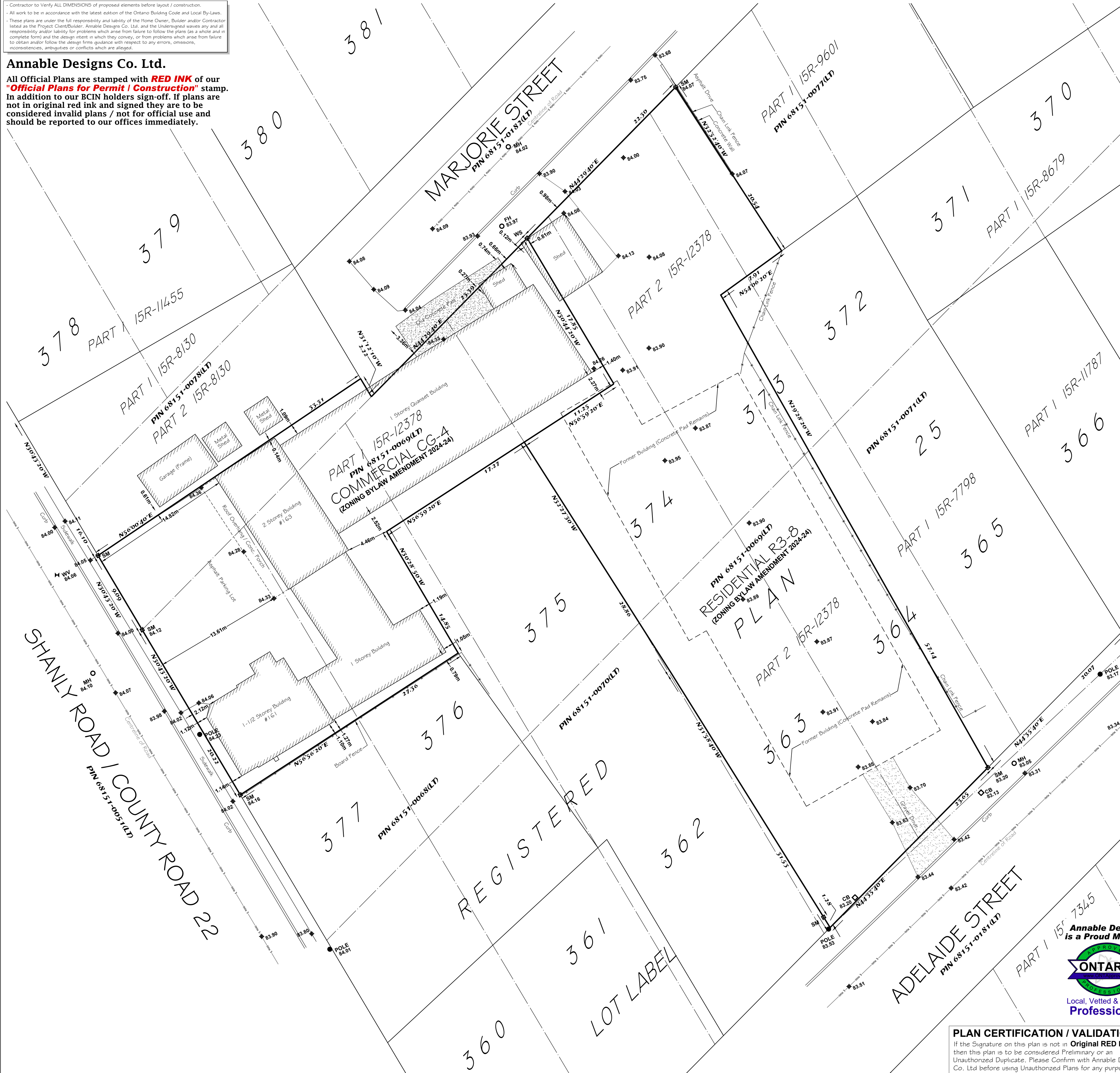


Site Plan (EXISTING CONDITIONS)

Being: LOT 374 & PART OF LOTS 363, 364, 372, 373 375, 376, 377 & PART OF MARJORIE STREET REGISTERED PLAN 25 Formerly the Village of Cardinal TOWNSHIP OF EDWARDSBURGH-CARDINAL COUNTY OF GRENVILLE



CAUTION - NOT PLAN OF SURVEY Annable Designs Co. Ltd. IS NOT an Ontario Surveyor/Firm. This Plan IS NOT a Legal Plan of Survey. This Plan should be read as a Compiled Plan of Data Available to the Public. This Plan shall not be used for any other purpose except for the purpose indicated in the Title Block.



ELEVATION NOTES: E1. ELEVATIONS SHOWN ON THIS PLAN ARE GEODETIC AND HAVE BEEN DERIVED FROM GPS, NAD83, CGRS 1987, AS PROVIDED BY CANMET GPS NETWORK. OBSERVED & COLLECTED BY ANNABLE DESIGNS CO. LTD. ON 14-06-2024

BOUNDARY / DATA USE: BD1. ANNABLE DESIGNS CO IS NOT A REGISTERED LAND SURVEYOR AND THIS PLAN SHALL NOT BE USED AS A PLAN OF LEGAL SURVEY. FOR ALL PROPERTY LINE DISPUTES AND/OR PROPER IDENTIFICATION OF BOUNDARY CONTACT A LOCAL ONTARIO LAND SURVEYOR FOR A BUILDING LOCATION SURVEY. BD2. DATA COLLECTED FROM THE SUBJECT SITE AND ADJUTING PROPERTIES HAS BEEN DONE IN A PROFESSIONAL AND TECHNICALLY TRAINED MANNER. ANNABLE DESIGNS CO. HAS USED COMMON PRACTICES AND KNOWLEDGE WITH THE ASSISTANCE OF SPECTRA PRECISION (GPS) EQUIPMENT.

GENERAL DESIGN NOTES: D1. THIS SITE PLAN SHOULD BE READ IN CONJUNCTION WITH THE PROJECT DESIGN PLANS THAT HAVE BEEN PREPARED BY ANNABLE DESIGNS CO. LTD. D2. ALL DESIGN ELEMENTS AND SITE CONSTRUCTION FEATURES ILLUSTRATED SHALL CONFIRM TO THE EXISTING OFFICIAL PLANS AND ZONING BY-LAWS OF THE MUNICIPALITY. IN ADDITION TO ALL PROVINCIAL GUIDELINES, STANDARDS, AND REQUIREMENTS.

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PLAN LEGEND: Table with symbols for existing and proposed buildings, roads, fences, and utility markers.

Did you know we much more than Design Firm? Table listing services like Residential Design, Business/Action Design, etc.

OUR PLANS SPEAK THE RIGHT LANGUAGE! BCIM CERTIFIED ARCHITECTURAL DIPLOMA - 25 YEARS EXP. CONSTRUCTION ENGINEERING DIPLOMA - E&O INSURANCE

Annable Designs logo and contact information: 224 King Street West, Brockville, Ontario. Phone: 613-926-5350.

PROJECT ID NUMBER: 1722 SHEET NUMBER: SP1

Table with columns for AUTHORIZATION SIGNATURE, COMPLETION DATE (MAY 2024), and CAD BY (D. T. ANNABLE).

PLAN CERTIFICATION / VALIDATION If the Signature on this plan is not in Original RED Ink, then this plan is to be considered Preliminary or an Unauthorized Duplicate. Please Confirm with Annable Designs Co. Ltd before using Unauthorized Plans for any purpose.

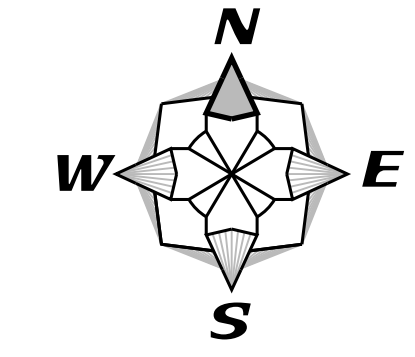
REVISIONS & RELEASES table with columns for Date of Rev., Description of Revision, and Release status.



Contractor to Verify ALL DIMENSIONS of proposed elements before layout / construction.
 All work to be in accordance with the latest edition of the Ontario Building Code and Local By-Laws.
 These plans are under the full responsibility and liability of the Home Owner, Builder and/or Contractor listed as the Project Client/Builder. Annable Designs Co. Ltd. and the Underigned waives any and all responsibility and/or liability for problems which arise from failure to follow the plans as a whole and in complete form and the design intent in which they convey, or from problems which arise from failure to obtain and/or follow the design firm guidance with respect to any errors, omissions, inconsistencies, ambiguities or conflicts which are alleged.

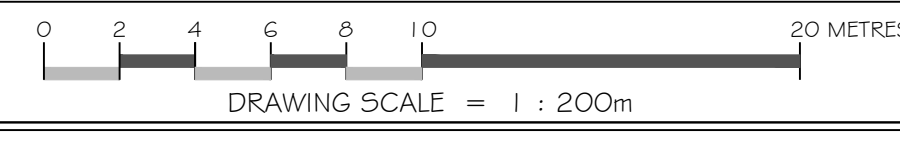
Annable Designs Co. Ltd.

All Official Plans are stamped with **RED INK** of our **"Official Plans for Permit / Construction"** stamp. In addition to our BCIM holders sign-off. If plans are not in original red ink and signed they are to be considered invalid plans / not for official use and should be reported to our offices immediately.

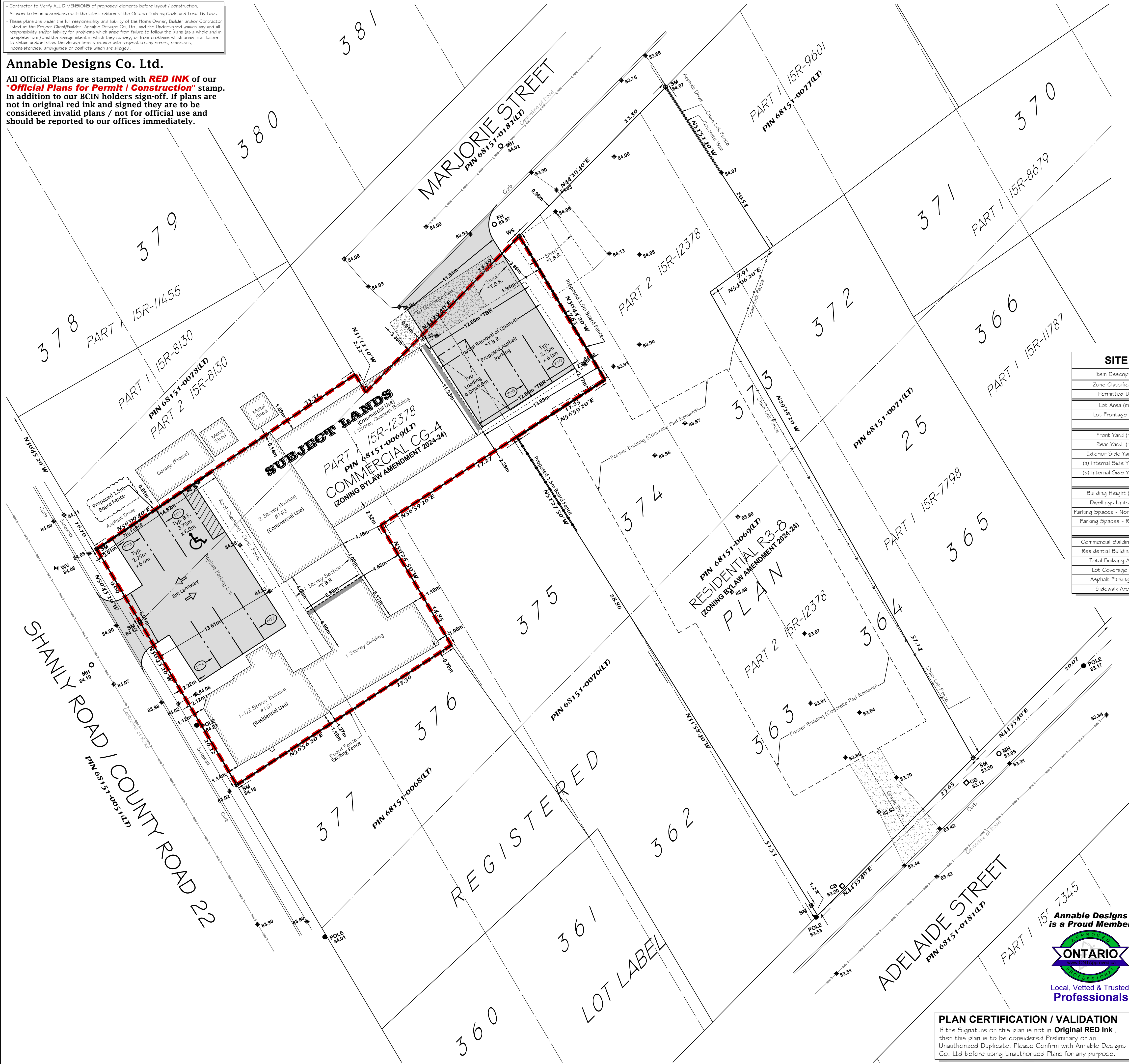


Site Plan Control

For:
DENIS SIMARD
 Being:
 LOT 374 & PART OF LOTS 363, 364, 372, 373
 375, 376, 377 & PART OF MARJORIE STREET
 REGISTERED PLAN 25
 Formerly the Village of Cardinal
 TOWNSHIP OF EDWARDSBURGH-CARDINAL
 COUNTY OF GRENVILLE



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Item Description	Requirement	Proposed Structure	Notes
Zone Classification	CG-4	CG-4	---
Permitted Use	VARIOUS	VARIOUS	---
Lot Area (min)	1000.0 sqm	1242.31 sqm	---
Lot Frontage (min)	20.0	29.31 m	CG-4 states "Shanly Road"
Front Yard (min)	7.5 m	Varies as Illustrated	CG-4 states "Shanly Road"
Rear Yard (min)	7.5 m	Varies as Illustrated	"Marjorie Street"
Extensor Side Yard (min)	7.5 m	n/a	---
(a) Internal Side Yard (min)	3.0 m	Varies as Illustrated	---
(b) Internal Side Yard (min)	3.0 m	Varies as Illustrated	---
Building Height (means)	10.0 m	10.36 m	---
Dwellings Units (max)	12 units	12 units	---
Parking Spaces - Non-Residential	9	9	*as per CG-4 ZBA
Parking Spaces - Residential	1 per Dwelling Unit	1	*as per CG-4 ZBA
Commercial Building Area(s)		318.2 sqm	---
Residential Building Area(s)		202.3 sqm	---
Total Building Area(s)		520.5 sqm	---
Lot Coverage (max)	45%	42 %	*as per CG-4 ZBA
Asphalt Parking Area		360.6 sqm	---
Sidewalk Area(s)		---	---

ELEVATION NOTES:

EL1. ELEVATIONS SHOWN ON THIS PLAN ARE GEODETIC AND HAVE BEEN DERIVED FROM GPS, NAD83, CGRS 1987.0 AS PROVIDED BY CANMET GPS NETWORK. OBSERVED & COLLECTED BY ANNABLE DESIGNS CO. LTD. ON 14-06-2024

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 D2. ALL DESIGN ELEMENTS AND SITE CONSTRUCTION FEATURES ILLUSTRATED SHALL CONFORM TO THE EXISTING OFFICIAL PLANS AND ZONING BY-LAWS OF THE MUNICIPALITY. IN ADDITION TO ALL PROVINCIAL GUIDELINES, STANDARDS, AND REQUIREMENTS.

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PLAN LEGEND:

- 9.99m (Exist) - DENOTES Existing Building Tie
- DENOTES Existing Building
- DENOTES Existing Gravel Surface
- DENOTES Existing Concrete Surface
- DENOTES Existing Fence Line
- DENOTES Existing Hydro Service
- DENOTES Centre-Line of Road
- DENOTES Existing Spot Elevation
- DENOTES Survey Monument (Round)
- DENOTES Wood Stake (on site)
- DENOTES Existing Utility Pole
- DENOTES Existing Fire Hydrant
- DENOTES Existing Water Valve
- DENOTES Existing Catch Basin
- DENOTES Existing Catch Basin

MUNICIPAL FEATURE LEGEND

- DENOTES Town Zoning Setback

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- Commercial Kitchen Design
- Signage / Commercial Solutions
- Floor Plans Consulting
- Topographic Data Collection
- 3D-Built Measurements
- Compliance Reviews
- Site-Specific Consulting
- Digitalization & 3D Rendering
- Commercial Design Consulting
- Development Consulting
- Planning Applications / Report
- Digitization & 3D Rendering

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 BCIM CERTIFIED ARCHITECTURAL DIPLOMA - 25 YEARS EXP.
 CONSTRUCTION ENGINEERING DIPLOMA - E&O INSURANCE

Planning Consultant / Design Consultant:
THE ORIGINAL CO.
Annable Designs
 RESIDENTIAL DESIGN-CONSULTING-PLANNING
 EST. 2012
 Brockville Offices: 224 King Street West, Brockville, Ontario
 613-926-5350
 info@annabledesigns.ca
 www.annabledesigns.ca

PROJECT ID NUMBER: **1722**
 SHEET NUMBER: **SP3**

AUTHORIZATION SIGNATURE - CONSULTANT: *[Signature]*
 COMPLETION DATE: MAY 2024
 COMPUTER NO: 1722-SP3-DWG
 CAD BY: D. T. ANNABLE
 SCALE: 1 : 200m
Rev. 06

PLAN CERTIFICATION / VALIDATION
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REVISIONS & RELEASES

#	By	Date of Rev.	Description of Revision
6	DTA	AUG 16-24	REVISED & REISSUED : as per authorities comments
5	DTA	JULY 12-24	OFFICIAL RELEASE : APPLICATION
4	DTA	JULY 11-24	ISSUED : issued for final client approval & sign-off
3	DTA	JUNE 20-24	ISSUED : issued for pre-consultation to authorities
2	DTA	JUNE 18-24	PRELIMINARY : for client comment & review
1	DTA	JUNE 14-24	IN OFFICE : processing & preparing from site survey / data
-	DTA	MAY 21-24	OFFICE : project & design initiated internally

SCHEDULE “C”

Site Plan Control Agreement

SPECIAL CONDITIONS

1. Location of Building Structures and Facilities

Building structures and facilities shall be located as per the Site Plan forming Schedule “B” to this Agreement.

2. Servicing

The property must be serviced by municipal water and sewer services and all water discharge to sanitary and storm sewers must be in accordance with the Township’s Sewer Use Bylaw.

3. Site Access & Roads

The site shall be accessed as per the site plan forming Schedule “B” to this agreement. A permit shall be obtained from the road authority prior to the establishment of any new entranceway or any extension or relocation of the existing entranceway.

The parking surface area shall be maintained with a stable hard surface such as concrete or asphalt.

4. Refuse Storage and Disposal

The property shall be maintained in a neat and tidy condition and all refuse shall be deposited in proper containers which are screened from view. The owner shall be responsible for the disposal of refuse from his/her/their property.

5. Snow Removal

Snow removal is the responsibility of the owner.

6. Demolition

A demolition permit shall be obtained from the Township prior to the demolition of any buildings or structures on the property.

As per the Environmental Site Assessment by St. Lawrence Testing, dated November 29, 2022, the floor and ceiling tiles are to be tested for asbestos prior to beginning any demolition work. A designated substance report shall be provided to

**SITE PLAN CONTROL AGREEMENT
BETWEEN DENIS SIMARD AND
THE TOWNSHIP OF EDWARDSBURGH CARDINAL**

the Township's Chief Building Official prior to any building or demolition permit being issued.

7. Lighting

Illuminated/lighted signage and lighting shall be designed, installed and maintained to:

- i) Prevent light spill over or glare onto the County road allowance; and
- ii) Prevent light spill over or glare onto the neighbouring residential properties; and
- iii) Prevent light from falling within the vision of motorists in such a manner as to create a traffic hazard; and
- iv) Not diminish or detract from the effectiveness of any traffic signal or similar safety or warning device,

as determined by the Director of Public Works of the United Counties of Leeds and Grenville or his/her designate.

8. Fence and Screening

Fencing shall be installed as shown on the plans forming Schedule "B" to this agreement. Required fencing shall be opaque, with a minimum height of 1.5m to provide screening for adjacent land uses. The fence shall be maintained by the Owner to the satisfaction of the Chief Building Official.

Fencing requirements may be changed without an amendment to this agreement, subject to meeting the provisions of the Township's Zoning Bylaw, and subject to the written approval of the Township's Chief Administrative Officer.

**CORPORATION OF THE
TOWNSHIP OF EDWARDSBURGH CARDINAL**

BY-LAW NO. 2024-

**“BEING A BY-LAW TO AUTHORIZE THE EXECUTION OF A SITE PLAN
CONTROL AGREEMENT WITH 2506418 ONTARIO INC.”**

WHEREAS the Council of the Corporation of the Township of Edwardsburgh Cardinal deems it advisable to enter into a Site Plan Control Agreement with 2506418 Ontario Inc. respecting development of a property described as:

PT LT A PL 90 EDWARDSBURGH PARTS 1, 2, 3, & 4 ON 15R11896; S/T AN
EASEMENT OVER PART 3 & 4 ON 15R-11896 AS IN PR28293; TOWNSHIP OF
EDWARDSBURGH/CARDINAL
PIN: 68155-0878

WHEREAS Authority is granted under Section 41 of the Planning Act, RSO 1990, c.P. 13, as amended to the Council of the Corporation of the Township of Edwardsburgh Cardinal to enter into and amend such agreements; and

NOW THEREFORE BE IT RESOLVED THAT the Council of the Corporation of the Township of Edwardsburgh Cardinal enacts as follows:

1. That the Mayor and Clerk are hereby authorized to execute an agreement with 2506418 Ontario Inc. and that a signed copy of said agreement is attached hereto as Schedule “A”.
2. That this by-law shall come into force and effect upon passing.

Read a first and second time in open Council this 26 day of August, 2024.

Read a third and final time, passed, signed and sealed in open Council this 26 day of August, 2024.

Mayor

Clerk

**THE CORPORATION OF THE
TOWNSHIP OF EDWARDSBURGH/CARDINAL
SITE PLAN CONTROL AGREEMENT**

THIS AGREEMENT made in triplicate this ____ day of _____, 2024

BETWEEN: 2506418 ONTARIO INC.

Hereinafter called the "Owner" of the first part

AND: THE CORPORATION OF THE TOWNSHIP OF EDWARDSBURGH/CARDINAL

Hereinafter called the "Township" of the second part

WHEREAS the Owner has applied to the Township in accordance with the Site Plan Control provisions of Bylaw No. 2023-47, to permit the development of the lands described in Schedule "A" attached hereto;

AND WHEREAS the Owner has agreed with the Township to undertake, furnish and perform the works, material, matter and things required to be done, furnished and performed in the manner hereafter described in connection with the proposed use of the land and in conformity with the Zoning Bylaw;

NOW THEREFORE THIS AGREEMENT WITNESSETH THAT in consideration of other good and valuable consideration and the sum of two dollars (\$2.00) of lawful money of Canada now paid by the Owner to the Municipality, the receipt of which is hereby acknowledged, the Parties hereby agree as follows:

1. Land to Which this Agreement Applies

This is an agreement made pursuant to the provisions of Section 41 of the Planning Act, RSO 1990. as amended, and applies to the lands described in Schedule "A" to this agreement.

2. Statutes, Bylaws, Licenses, Permits and Regulations

The Owner undertakes and agrees that prior to the commencement of any development, redevelopment, site alteration, construction or other works, the Owner shall obtain all necessary permits and approvals required by the

**SITE PLAN CONTROL AGREEMENT
BETWEEN 2506418 ONTARIO INC. AND
THE TOWNSHIP OF EDWARDSBURGH CARDINAL**

Government of Canada, the Province of Ontario or any agency thereof, the Township and any other affected agency. The Owner undertakes and agrees to comply with the requirements of all relevant municipal bylaws, provincial and federal statutes and regulations, permits, approvals or licenses in addition to the terms of this agreement.

3. Schedules

The Owner hereby agrees that prior written approval by the Township and/or an amendment to a Schedule shall be required for any departure, change or modification from the Schedules.

The following list of schedules attached hereto are deemed to be and form part of this Agreement:

- 3.1 Schedule "A" -Legal Description of the Land to which this Agreement applies.
- 3.2 Schedule "B" -Site Plan
- 3.3 Schedule "C" -Stormwater Management Report
- 3.4 Schedule "D" -Special Conditions

4. Registration of Agreement and Commencement of Work

The Owner covenants that he/she/they shall not commence any development or site alteration whatsoever until this Agreement is registered on title against the land at the expense of the Owner.

The Owner agrees to commence development of the site not later than September 29th, 2025.

5. Completion Date

The owner agrees to complete the work required under this Agreement not later than September 29th, 2026.

6. Default

In the event the Owner defaults in the performance of an obligation under this agreement or for reasons of public safety as determined by the Chief Building Official under the Building Code Act of Ontario or the Fire Marshall under the Fire Protection & Prevention Act of Ontario, the Township may, at the expense of the Owner, enter upon the lands and do all such matters and things as may be

**SITE PLAN CONTROL AGREEMENT
BETWEEN 2506418 ONTARIO INC. AND
THE TOWNSHIP OF EDWARDSBURGH CARDINAL**

required to comply with any Order of the Chief Building Official or Assistant to the Fire Marshall (local Fire Chief). Such actual costs incurred by the Township plus an overhead charge of 15%, shall be deemed to be recoverable from the Owner by invoice and may be recovered in like manner as municipal taxes pursuant to the Municipal Act.

7. Facilities and Work to be Provided and Maintained

The Owner covenants and agrees to provide and maintain, at his/her/their sole expense each and every facility, work or other matter illustrated on the Schedules to the satisfaction of the Township, acting in a commercially reasonable manner, and to engage qualified professionals, where required, to design and carry forth any of the work undertaken under this Agreement. This shall include the restoration of any faulty workmanship or materials.

8. Certificate of Compliance

Upon the satisfactory completion of all matters and things to be provided and maintained by the Owner pursuant to this Agreement, the Owner shall be entitled to obtain a Certificate of Compliance from the Township confirming that all provisions of this Agreement have been complied with in full to the date of such Certificate.

9. Notice to Parties

Any Notice by any party to this agreement to another shall be given in writing and mailed or delivered to the Party:

9.1 In the case of the Municipality:

To the Clerk of the Township of Edwardsburgh/Cardinal
18 Centre Street
P.O. Box 129
Spencerville, ON KOE 1X0

9.2 In the case of the Owner(s):

2506418 Ontario Inc.
c/o Mitchell Alswiti
9 Newport Drive
Johnstown ON K0E 1T1

**SITE PLAN CONTROL AGREEMENT
BETWEEN 2506418 ONTARIO INC. AND
THE TOWNSHIP OF EDWARDSBURGH CARDINAL**

10. Severability

The terms of this agreement are severable, and the unenforceability of any part hereof shall not render the whole unenforceable. No forbearance or failure by the Township to strictly enforce any term or covenant herein shall prevent the Township from insisting upon strict compliance by the Owner subsequent to such forbearance or failure to strictly enforce its terms. The terms of this agreement may not be altered except by a subsequent agreement in writing between the parties.

11. Successors and Assigns

This Agreement shall ensure to the benefit of and be binding upon the respective heirs, personal representatives, successors and assigns of each of the parties hereto.

12. Force and Effect

This Agreement comes into force after it has been executed by all parties hereto and registered against the title to the lands described in Schedule "A".

IN WITNESS WHEREOF the Parties have hereunto set their hands and seals, corporate parties over the hand(s) of their duly authorized signing officers in that regard.

OWNER/AUTHORIZED AGENT

Owner
I have the authority to bind the corporation.

CORPORATION OF THE TOWNSHIP OF
EDWARDSBURGH/CARDINAL

Mayor

Clerk
We have the authority to bind the corporation.

**SITE PLAN CONTROL AGREEMENT
BETWEEN 2506418 ONTARIO INC. AND
THE TOWNSHIP OF EDWARDSBURGH CARDINAL**

SCHEDULE "A"

Site Plan Control Agreement

DESCRIPTION OF THE PROPERTY

PT LT A PL 90 EDWARDSBURGH PARTS 1, 2, 3, & 4 ON 15R11896; S/T AN
EASEMENT OVER PART 3 & 4 ON 15R-11896 AS IN PR28293; TOWNSHIP OF
EDWARDSBURGH/CARDINAL

PIN: 68155-0878

**SITE PLAN CONTROL AGREEMENT
BETWEEN 2506418 ONTARIO INC. AND
THE TOWNSHIP OF EDWARDSBURGH CARDINAL**

SCHEDULE "B"

Site Plan Control Agreement

SITE PLAN

EXHIBITS: The following Exhibits attached hereto shall form part of this Schedule:

Exhibit 1- C1 Existing Conditions and Erosion Plan

Exhibit 2- C2 Site and Servicing Plan

Exhibit 3- C3 Grading and Servicing Plan

NOTES: EROSION & SEDIMENT CONTROL

- IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES FOR EROSION & SEDIMENT CONTROL:
 - GEOTEXTILE CATCHES SHALL BE INSTALLED UNDER THE UIDS OF ALL EXISTING AND PROPOSED SITE STRUCTURES AND ADJACENT MUNICIPAL STRUCTURES. "ULTRA DRAIN GUARD" OR EQUAL.
 - LIGHT DUTY SILT FENCE AND STRAW BALE CHECKS SHALL BE INSTALLED AT LOCATIONS AS SHOWN ON THE DRAWING.
- ALL SEDIMENT AND EROSION CONTROL MEASURE SHALL BE INSPECTED DAILY AND AFTER EVERY RAIN EVENT BY THE CONTRACTOR. ALL SEDIMENT AND EROSION MEASURES SHALL BE MAINTAINED, REPAIRED OR REPLACED AS REQUIRED UNTIL CONSTRUCTION IS COMPLETE AND GROUND COVER HAS STABILIZED. THE CONTRACTOR SHALL IMMEDIATELY CONTAIN AND REMOVE ANY SEDIMENTS THAT BREACH SILT BARRIERS.
- CONSTRUCTION TRUCKS SHALL NOT BE CLEANED OR WASHED OFF ON THIS SITE EXCEPT AT AN APPROVED WASH OFF STATION. ANY FUEL SPILLS SHALL BE CONTAINED & CLEANED UP IMMEDIATELY. THE MINISTRY OF THE ENVIRONMENT MUST BE NOTIFIED IMMEDIATELY IF A SPILL OCCURS.
- IN THE EVENT THAT THE EROSION AND SEDIMENT CONTROL ("ESC") MEASURE INDICATED ON THIS PLAN ARE NOT SUFFICIENT, THE CONTRACTOR SHALL PROVIDE ADDITIONAL "ESC" MEASURED TO MINIMIZE THE RELEASE OF SOILS AND SEDIMENT INTO BODIES OF WATER AND SEWERS.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF EROSION CONTROL MEASURES UPON COMPLETION OF CONSTRUCTION AND RE-VEGETATION HAS OCCURRED.
- CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF COLLECTED SEDIMENT.
- THIS DOCUMENT IS TO BE CONSIDERED A LIVING DOCUMENT AND MAY BE AMENDED IF WARRANTED BY CONDITIONS.

GENERAL NOTES

- ALL WORK ON TOWNSHIP PROPERTY TO BE PERFORMED BY A CONTRACTOR APPROVED BY THE TOWNSHIP.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS PRIOR TO START OF CONSTRUCTION.

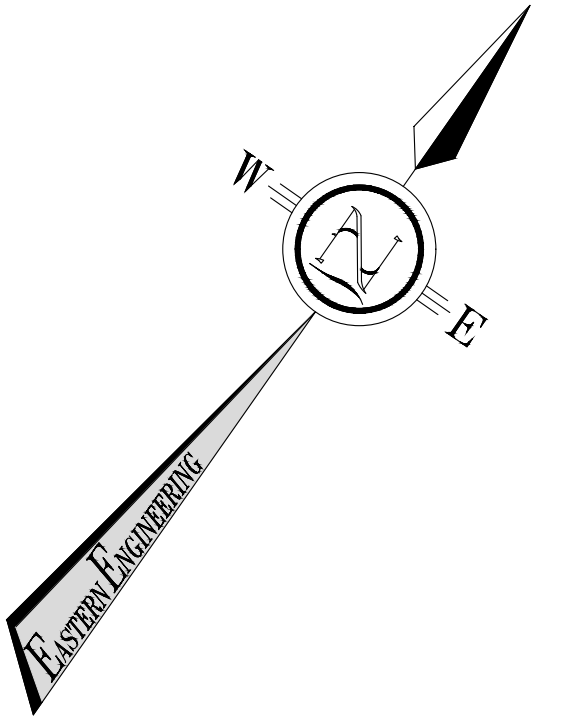
LEGEND

- 92.30 EXISTING TOPO GRADE
- 92.50 PROPOSED GRADE
- 92.20 EXISTING GRADE
- □ STORM SEWER
- □ SANITARY SEWER
- WATERMAIN
- BELL UNDERGROUND
- GAS UNDERGROUND
- CABLE UNDERGROUND
- ELECTRICAL UNDERGROUND
- ○ ○ ○ OVERHEAD UTILITIES
- ○ ○ ○ UTILITY POLE
- AN UTILITY ANCOR
- UTILITY PEDISTAL
- PROPERTY BAR FOUND
- ▴ RS ROAD SIGN
- FENCE
- TREELINE
- TREE
- 11.58 N49°15'50"E PROPERTY BOUNDARY
- ▨ EXISTING BUILDING
- ▨ EXISTING BUILDING TO BE REMOVED
- ▨ PROPOSED BUILDING
- ▴ ENTRANCE/EXIT



GENERAL NOTES

- ALL WORK ON TOWNSHIP PROPERTY TO BE PERFORMED BY A CONTRACTOR APPROVED BY THE TOWNSHIP.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS PRIOR TO START OF CONSTRUCTION.



BENCHMARK
TOP OF SIB ON NORTH SIDE OF COUNTY ROAD 2
ELEV. 92.16m

NOTE:
CONTRACTOR TO CONTACT UTILITY COMPANIES TO DETERMINE TYPE, LOCATION, AND CONFIGURATION OF EXISTING PLANT.

No.	By	Date	Revisions
2	CAJ	8/7/2024	TOWNSHIP COMMENTS
1	AJP	7/3/2024	SITE PLAN CONTROL
0	CJ	12/24/2023	SITE PLAN CONTROL

All drawings, specifications and related documents are the copyright property of the Engineer and must be returned upon request. Reproduction of drawings, specifications, and related documents in part or whole is forbidden without the Engineer's written permission.
The contractor must check and verify all dimensions on the job prior to start of construction.
Drawings are not to be scaled.



EASTERN ENGINEERING GROUP INC.
CONSULTING ENGINEERS
Apex Building Telephone: (613) 345-0400
207 - 100 Strawger Blvd. Facsimile: (613) 345-0008
Brockville, Ont. K6V 5J9 www.EastEng.com

PURPLEFARM GENETICS INC
WAREHOUSE/RETAIL

EXISTING CONDITIONS AND EROSION CONTROL PLAN

Design: AJP	Checked: CAJ	Approved:	Project No.: 8165
Drawn: AJP	Checked: CAJ	Date: 2023/12/24	Contract No.:
Scale:	Drawing No.:		C1
Horizontal: 1:300	Vertical:		

ZONING REQUIREMENTS FOR MP/HC ZONE

	REQUIRED	PROPOSED
MIN. LOT AREA	1 ha	1.136 ha
MIN. LOT FRONTAGE	45.00 m	70.43 m
MAX. LOT COVERAGE	30%	25.32 %
MIN. FRONT YARD (NEWPORT DRIVE)	10.00 m	77.67 m
(COUNTY RD. No.2)	10.00 m	14.00 m
MIN. INTERIOR SIDE YARD	10.00 m	10.14 m
MAX. BUILDING HEIGHT	15.00 m	8 m

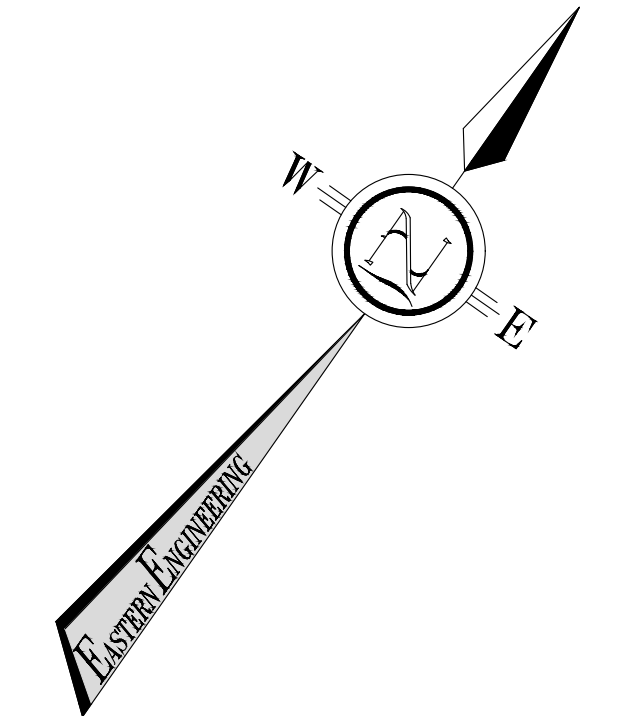
SITE STATISTICS

LOT AREA	11,360 m ²	
BUILDING AREA	1579 m ²	
ASPHALT AREA	0 m ²	
GRAVEL AREA	2877 m ²	
LANDSCAPE AREA	6904 m ²	
PARKING SPACES (COMMERCIAL)	7 SPACES	7 SPACES



GENERAL NOTES

- ALL WORK ON TOWNSHIP PROPERTY TO BE PERFORMED BY A CONTRACTOR APPROVED BY THE TOWNSHIP.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS PRIOR TO START OF CONSTRUCTION.



BENCHMARK
TOP OF SIB ON NORTH SIDE OF COUNTY ROAD 2
ELEV. 92.16m

NOTE:
CONTRACTOR TO CONTACT UTILITY COMPANIES TO DETERMINE TYPE, LOCATION, AND CONFIGURATION OF EXISTING PLANT.

No.	By	Date	Revisions
2	CAJ	8/7/2024	TOWNSHIP COMMENTS
1	AJP	7/03/2024	SITE PLAN CONTROL
0	CJ	12/24/2023	SITE PLAN CONTROL

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The contractor must check and verify all dimensions on the job prior to start of construction.
Drawings are not to be scaled.



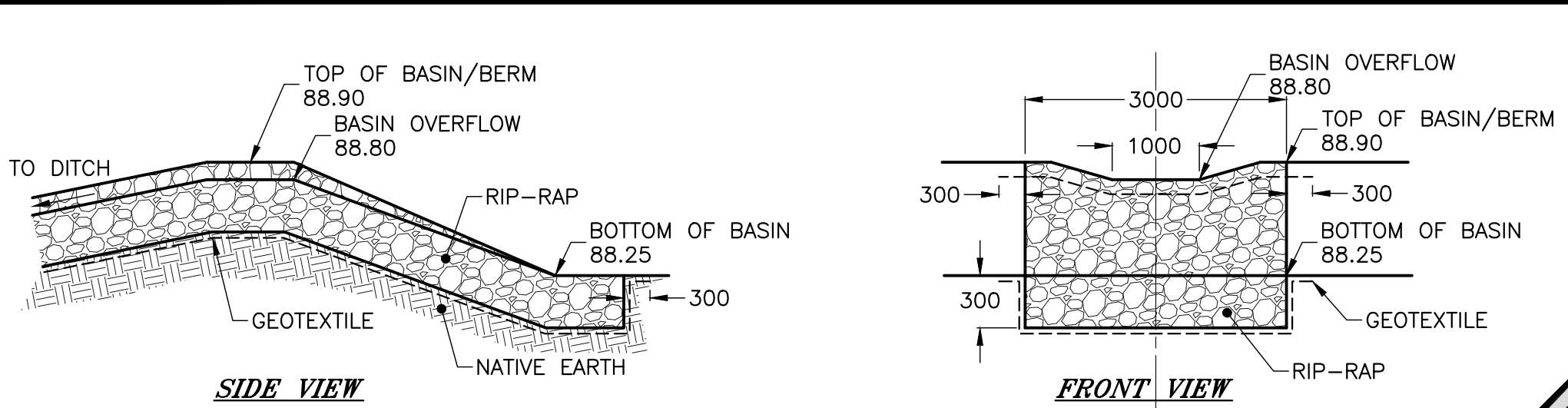
EASTERN ENGINEERING GROUP INC.
CONSULTING ENGINEERS
Apex Building Telephone: (613) 345-0400
207 - 100 Stroniger Blvd. Facsimile: (613) 345-0008
Brockville, Ont. K6V 5J9 www.EastEng.com

Project Title:
PURPLE FARMS GENETICS WAREHOUSE/RETAIL

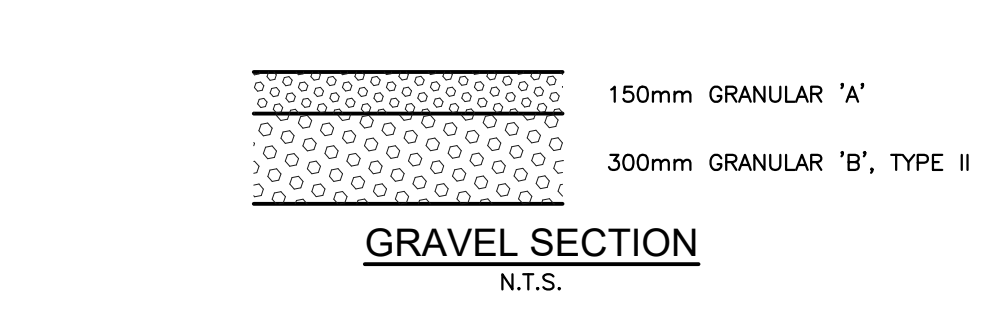
Drawing Title:
SITE AND SERVICING PLAN

Design: AJP	Checked: CAJ	Approved:	Project No.: 8165
Drawn: AJP	Checked: CAJ	Date: 2023/12/24	Contract No.:
Scale:	Horizontal: 1:300		Vertical:

C2
File No.: 8165 D1 2023.dwg



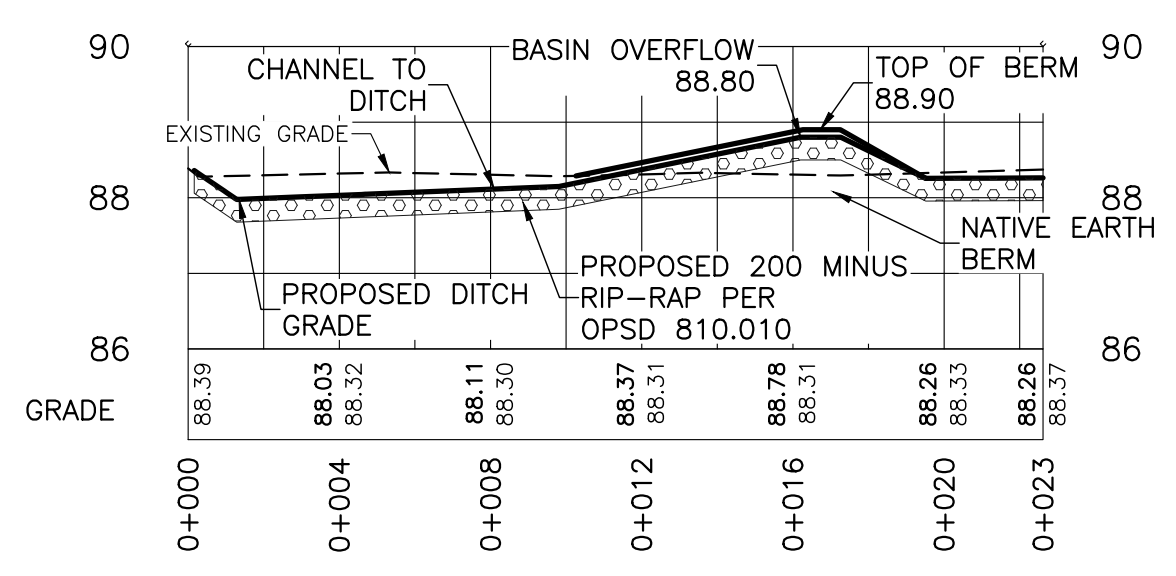
STORM BASIN OVERFLOW DETAILS
 SCALES N.T.S.



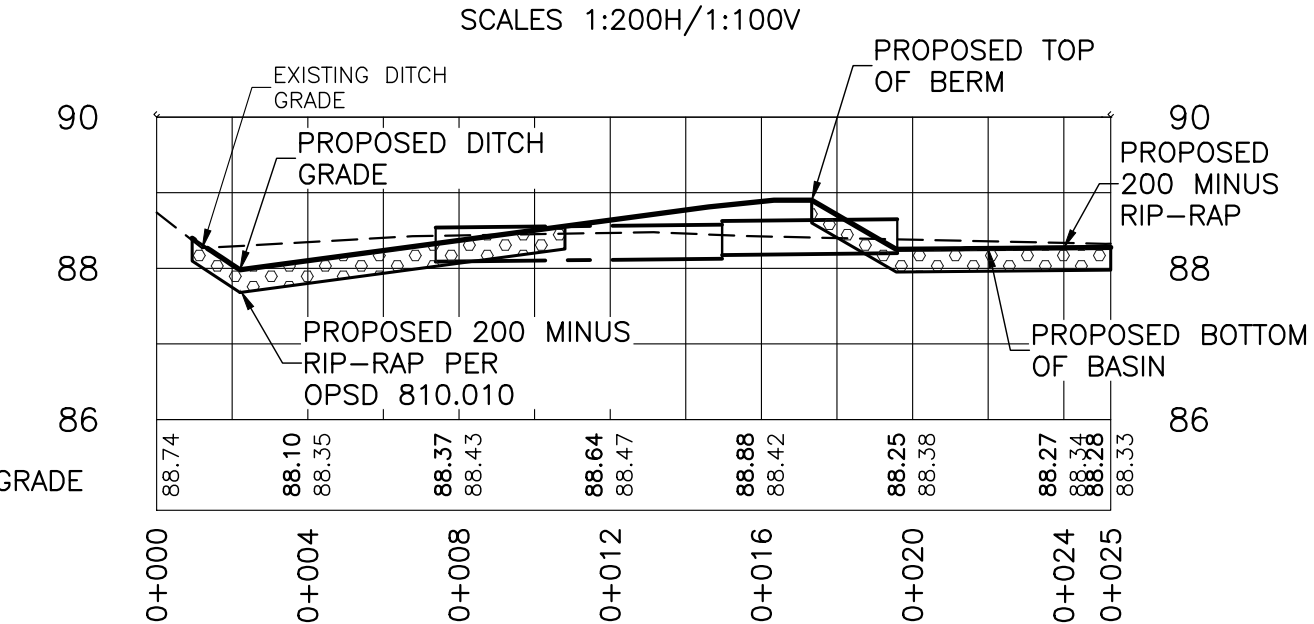
GRAVEL SECTION
 N.T.S.

NOTES:
 • GRADING AROUND SWALE MUST BE GRADED SUCH THAT WATER WILL FLOW FREELY FROM ADJACENT GROUND TO THE BOTTOM OF SWALE WITH NO PONDING.
 • BOTTOM OF SWALE MUST BE GRADED IN THE DIRECTION INDICATED AND TO THE GRADES SHOWN ON DRAWINGS WITH A SMOOTH CONTINUOUS SLOPE WITH MINIMAL PONDING.
 • UNITS ARE MILLIMETRES UNLESS OTHERWISE NOTED.

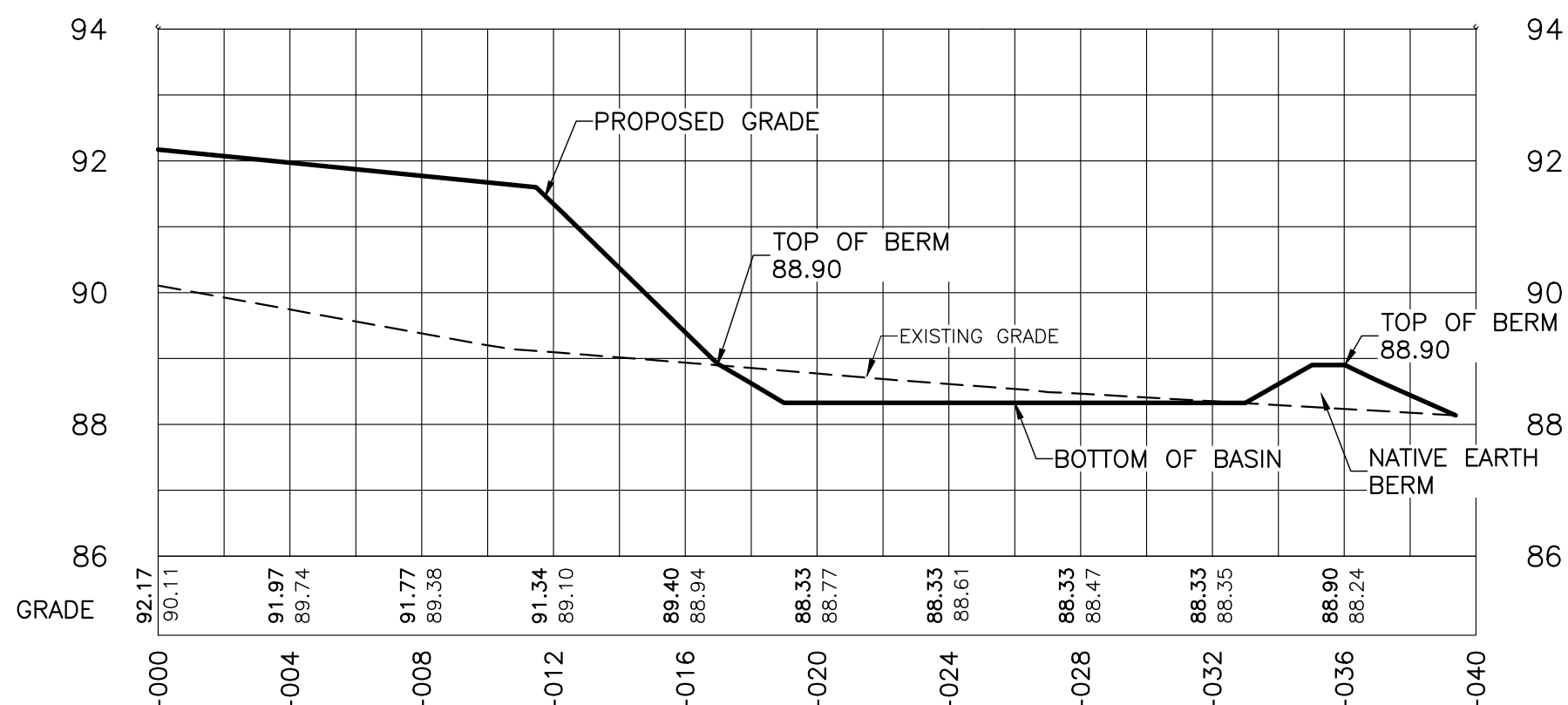
SWALE DETAIL
 N.T.S.



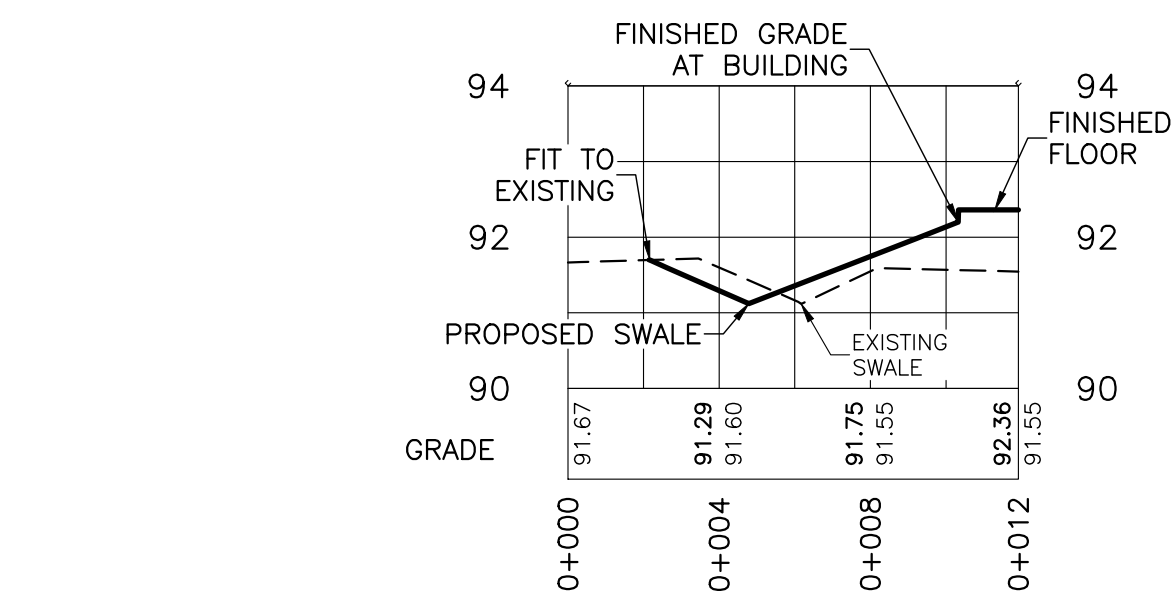
STORM BASIN OVERFLOW SECTION
 SCALES 1:200H/1:100V



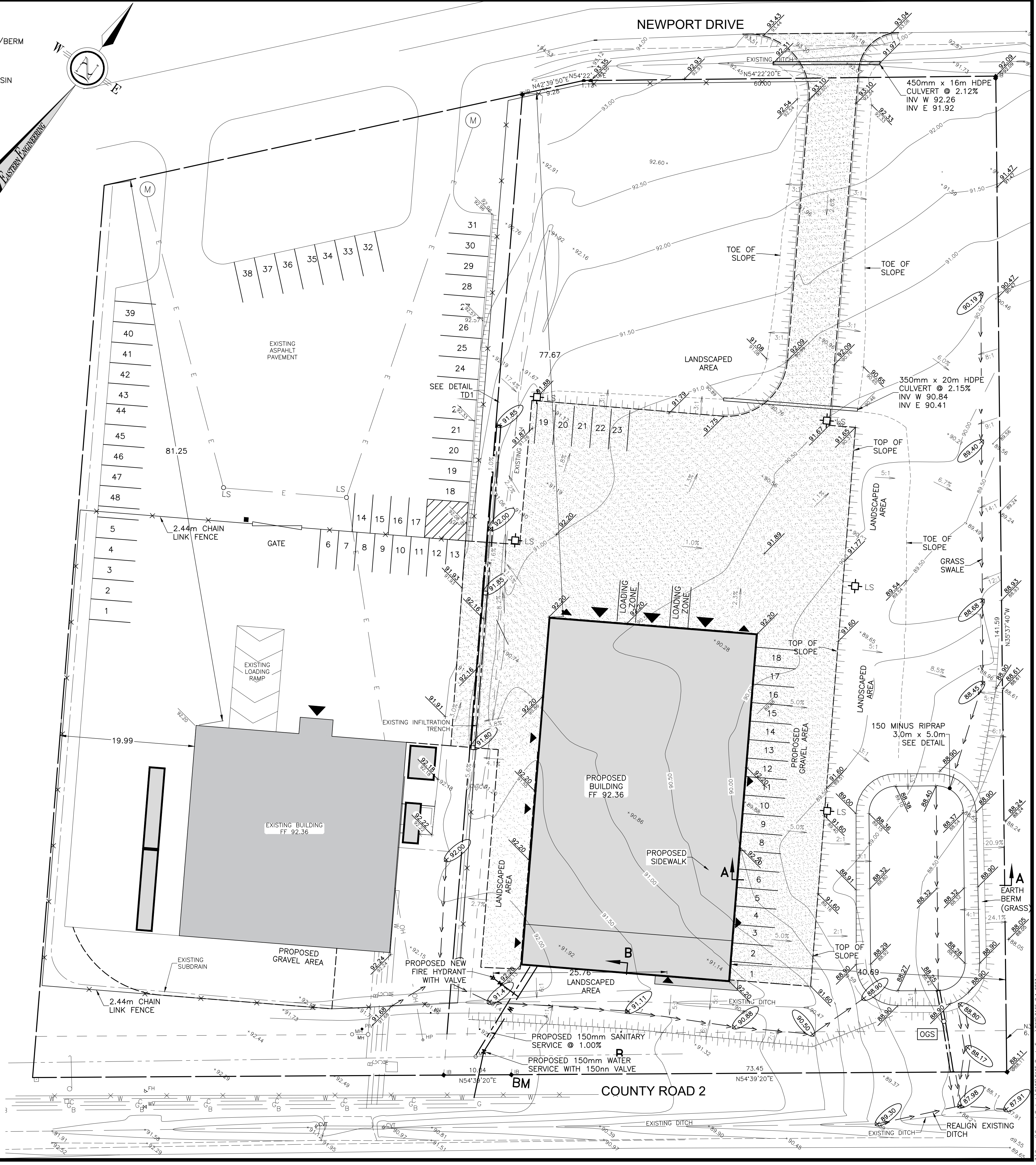
STORM BASIN OGS SECTION
 SCALES 1:200H/1:100V



SECTION A-A
 SCALES 1:200H/1:100V



SECTION B-B
 SCALES 1:200H/1:100V



GENERAL NOTES

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- CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS PRIOR TO START OF CONSTRUCTION.

LEGEND

- ◻ 92.30 PROPOSED GRADE
- ◻ 108.30 PROPOSED SWALE GRADE
- +104.41 EXISTING GROUND GRADE
- DIRECTION OF DRAINAGE
- PROPOSED SWALE
- ▲ TOP OF SLOPE
- ▲ ENTRANCE/EXIT

BENCHMARK
 TOP OF SIB ON NORTH SIDE OF COUNTY ROAD 2
 ELEV. 92.16m

NOTE:
 CONTRACTOR TO CONTACT UTILITY COMPANIES TO DETERMINE TYPE, LOCATION, AND CONFIGURATION OF EXISTING PLANT.

No.	By	Date	Revisions
2	CAJ	8/7/2024	TOWNSHIP COMMENTS
1	AJP	7/3/2024	SITE PLAN CONTROL
0	CJ	12/24/2023	SITE PLAN CONTROL

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 Brockville, Ont. K6V 5J9 www.EastEng.com

PURPLE FARMS GENETICS WAREHOUSE/RETAIL

GRADING AND SERVICING PLAN

Design: AJP	Checked: CAJ	Approved:	Project No.: 8165
Drawn: AJP	Checked: CAJ	Date: 2023/12/24	Contract No.:
Scale:	Horizontal: 1:300	Vertical:	Drawing No.:

C3

**SITE PLAN CONTROL AGREEMENT
BETWEEN 2506418 ONTARIO INC. AND
THE TOWNSHIP OF EDWARDSBURGH CARDINAL**

SCHEDULE "C"

Site Plan Control Agreement

STORMWATER MANAGEMENT REPORT

Prepared by Eastern Engineering
dated December 2023 and revised August 7, 2024

**PURPLEFARM GENETICS INC.
9 NEWPORT DRIVE
EDWARDSBURGH-CARDINAL, ON**

STORMWATER MANAGEMENT REPORT

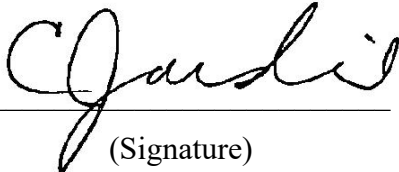


**EASTERN ENGINEERING GROUP INC.
APEX BUILDING
100 STROWGER BLVD, SUITE 207
BROCKVILLE, ON
K6V 5J9**

DECEMBER 2023

REVISION RECORD					
REV	DESCRIPTION	PREPARED BY		REVIEWED BY	
0	ISSUED FOR SITE PLAN APPLICATION	CJ	2023-12-24	CJ	
1	REISSUE FOR SPCA	CJ	2024-07-03	CJ	
2	REISSUE FOR SPCA	CJ	2024-08-07	CJ	

This document entitled Stormwater Management Report was prepared by Eastern Engineering Group Inc. for the account of the Purplefarm Genetics Inc. (the “Client”). Any reliance on this document by any third party is strictly prohibited. The material in the report reflects Eastern Engineering Group’s professional judgement in light of the scope, schedule and other limitations stated in the document and in the contract between Eastern Engineering Group and the Client. The opinions in the document are based on conditions and information existing at the time the document was prepared and published and do not take into account any subsequent changes. In preparing the document, Eastern Engineering Group did not verify information supplied to it by others. Any use which a third party makes of this document is the responsibility of such third party. Such third party agrees that Eastern Engineering Group shall not be responsible for costs or damages of any kind, if any, suffered by it or any other third party as a result of decisions made or actions take based on this document.

Prepared by 
(Signature)

Colin A. Jardine, P. Eng

President, Eastern Engineering Group

Director of Civil Engineering

**PURPLEFARM GENETICS INC.
9 NEWPORT DRIVE,
EDWARDSBURGH-CARDINAL, ONTARIO**

STORMWATER MANAGEMENT REPORT

**PREPARED BY:
EASTERN ENGINEERING GROUP INC.
DECEMBER 2023
REV 2 JULY 2024**

PROJECT

Eastern Engineering Group Inc. was retained by Mr. Mitchell Alswiti of Purplefarm Genetics Inc to prepare civil engineering design including servicing, grading and stormwater management report for the proposed industrial project at 9 Newport Drive, Johnstown, in the Township of Edwardsburgh Cardinal. The project consists of construction of a new 1579 m² warehouse. Also included is a new gravel parking/loading area, new parking and stormwater management basin.

EXISTING CONDITIONS

The site is currently undeveloped and will retain as much green space as possible for the new project. The new entrance will be to Newport Drive.

PROPOSED LOT SERVICING

The new building will be connected to existing municipal water main and sanitary sewers which are currently on the north side of County Road 2. The water service be a new 150mm PVC service connected to the existing main with a new 150mm curb stop at property line. A new fire hydrant is proposed near the southwest corner of the new building. The water service to the building will be a min of 100mm but determined at the time of building design and sprinkler design. The new sanitary service will be connected to an existing manhole. The service will be 150mm PVC flowing by gravity.

All connections would be designed to meet the Ontario Building Code and Township regulations for water and sanitary services.

The expected daily flows for the warehouse will be based on 3 loading bays and 3 washrooms. Using the Ontario Building Code this will equate to 3300 L/day. For a 10 hour shift this would be the equivalent of 0.092 L/s.

STORM SERVICING AND STORMWATER MANAGEMENT

The existing site is undeveloped with bedrock near the surface of the majority of the site. The pre-development runoff coefficient for the site is 0.35. 4408 m² of the new property is being modified from existing to developed and that will be used for the stormwater management calculations. The post development runoff coefficient is calculated using the proposed building and gravel area for the area being modified.

The storm design will allow for surface water to flow easterly to a swale and stormwater basin at the southeast corner of the site. The basin is designed to store the 100 year storm event while releasing at the pre-development allowable flow. Quality control will be via an OGS unit placed on the south side of the storm basin. TSS removal will be aimed for the enhanced level of TSS removal of 80%.

County infrastructure has the capacity to handle the discharge and will not be negatively impacted by post-development flows.

PRE-DEVELOPMENT FLOWS

The total allowable flow from the site is determined using the following criteria:

C_{pre} – 0.35

Area – 1.136 ha

Using MTO IDF Curve lookup website, it was determined for this site, the following:

I_{5year} is 71.2 mm/hr

I_{100year} is 118.6 mm/hr

The document is attached in the appendix.

T_c is assumed to be 15 mins as the area of flow and flow path are being modified from north to south to flow east to west. The existing drainage flow is to the rear of the property whereas the proposed flow is to the west. Local Municipalities (Prescott, Brockville) have accepted an assumed T_c of 15 mins for small localized projects similar in size to this.

$$\begin{aligned} Q_{5pre} &= 2.78 * A * i * C \\ &= 2.78 * 1.136 * 71.2 * 0.35 \\ &= \mathbf{78.70 \text{ L/s}} \end{aligned}$$

The total allowable from the site is **78.70 L/s** total.

The post development runoff coefficient is calculated as below.

This was calculated with 1579 m² (building) @ 0.90 and 2877 m² (gravel) @ 0.6. and 6904 m² @ 0.3

$$C_{post} = 1579 * 0.9 + 2877 * 0.6 + 6904 * .35 / 11360 = 0.490$$

I_{5year} is 71.2 mm/hr

I_{100year} is 118.6 mm/hr

POST DEVELOPMENT FLOWS

The post development flows are calculated using Modified Rationale method for various times and rainfall intensities, to determine how much storage is required for each drainage area.

The post development runoff coefficient is 0.490 for 5 year event. The allowable release rate is controlled to 78.70 L/s.

5 Year Storage – A=1.136 ha, c=0.490 Q allowable 78.70 L/s

T_c (min.)	I (mm/hr.)	Q (L/s)	Q_{allow} (L/s)	Net Runoff (L/s)	Storage (m³)
---------------------------------	-----------------------	--------------------	------------------------------------	-----------------------------	------------------------------------

5	153.4	232.6995	78.7	154.00	46.20
10	94.5	143.3514	78.7	64.65	38.79
15	71.2	108.0065	78.7	29.31	26.38
30	43.8	66.44	78.7	-12.26	0

100 Year Storage – $A=1.136$ ha, $c=0.49 \times 1.25 = 0.6125$ Q allowable 78.70 L/s

Tc (mn.)	I (mm/hr.)	Q (L/s)	Qallow (L/s)	Net Runoff (L/s)	Storage (m³)
5	255.6	484.6642	78.7	405.96	121.79
10	157.4	298.4591	78.7	219.76	131.86
15	118.6	224.8872	78.7	146.19	131.57
30	73.1	138.6109	78.7	59.91	107.84
60	45	85.32821	78.7	6.63	23.86

Therefore, based on Modified Rational Method, the storage requirement for the site for 5 year is 46.20 m³ and for 100 year 131.86 m³.

STORAGE PROVIDED

The storage will be provided in a stormwater basin controlled via outlet control device, in the south east corner of the site.

The average area of the basin is 500.25 m² and the average depth of the structure is 0.565 deep with a slope of 0.5%. The basin is 30m long (N/S) and 14m wide (E/W) at the bottom of the basin.

The basin will hold approximately 286 m³ of stormwater which is above the required amount of 58.16 m³. The basin is oversized for a possible future expansion of the site and buildings.

QUALITY CONTROL

Quality control for the site will be provided with an OGS unit on the south outlet area of the basin. The unit will provide 80% TSS removal before outlet into the ditch on County Road 2. The specified unit is a CDS PMSU 2015_4 unit.

Emergency overflow will be to the south.

MAINTENANCE

The owner will have maintenance staff review the site periodically during routine maintenance. Catch basins will need to be cleaned out as required in the sumps.

The maintenance plans and forms must address the following:

- inspection frequency
- maintenance frequency
- data collection/ storage requirements (i.e. during inspections)
- detailed cleanout procedures (main element of the plans) including:
 - equipment needs
 - maintenance techniques
 - occupational health and safety
 - public safety
 - environmental management considerations
 - disposal requirements (of material removed)
 - access issues

Routine Maintenance and Operation

Routine inspection and maintenance activities as shown in Table 4.5.6 are necessary for the continued operation of infiltration areas.

Table 4.5.6 Suggested routine inspection and maintenance activities

Activity	Schedule
Inspect for vegetation density (at least 80% coverage), damage by foot or vehicular traffic, channelization, accumulation of debris, trash and sediment, and structural damage to pretreatment devices.	After every major storm event (>25 mm), quarterly for the first two years, and twice annually thereafter.
Regular watering may be required during the first two years until vegetation is established;	As needed for first two years of operation.

Remove trash and debris from pretreatment devices, the infiltration area surface and inlet and outlets.	At least twice annually. More frequently if desired for aesthetic reasons.
<ul style="list-style-type: none"> • Remove accumulated sediment from pretreatment devices, inlets and outlets; • Trim trees and shrubs; • Replace dead vegetation, remove invasive growth; • Repair eroded or sparsely vegetated areas; • Remove accumulated sediment on the bioretention area surface when dry and exceeds 25 mm depth (PDEP, 2006); • If gullies are observed along the surface, regrading and revegetating may be required. 	Annually or as needed

Annual Inspection and Maintenance

The annual spring cleaning should consist of an inspection and corrective maintenance tasks described in Table 4.5.7

Table 4.5.7 Suggested inspection items and corrective actions

Inspection Item	Corrective Actions
Vegetation health, diversity and density	<ul style="list-style-type: none"> • Remove dead and diseased plants. • Add reinforcement planting to maintain desired vegetation density. • Prune woody matter. • Check soil pH for specific vegetation. • Add mulch to maintain 75 mm layer.
Sediment build up and clogging at inlets	<ul style="list-style-type: none"> • Remove sand that may accumulate at the inlets or on the filter bed surface following snow melt. • Examine drainage area for bare soil and stabilize. Apply erosion control such as silt fence until the area is stabilized. • Check that pretreatment is properly functioning. For example, inspect grass filter strips for erosion or gullies. Reseed as necessary.
Ponding for more than 48 hours	<ul style="list-style-type: none"> • Check underdrain for clogging and flush out. • Apply core aeration or deep tilling • Mix amendments into the soil • Remove the top 75 mm of bioretention soil • Replace bioretention soil

The owner will have maintenance staff review the site periodically during routine maintenance.

Prepared by:

Eastern Engineering Group Inc.

Colin A. Jardine, P. Eng

August 7, 2024



APPENDIX
OGS UNIT
CDS PMSU 2015_4



TRANSMITTAL

To: Colin Jardine, P.Eng	From: Patrick Graham
Company: Eastern Engineering Group Inc.	Date: February 20, 2024
Telephone: (613) 345-0400	Number of Pages (including this one): 10
Reference: Purplefarm Genetics – CDS PMSU 2015_4	

Good morning Colin,

Please find the attached CDS Stormwater Unit submission package for the project:

Purplefarm Genetics, Johnstown ON

Please review the pages and **indicate your approval by initialling each page** and returning **all** pages of this transmittal to 905-948-0577.

Thank you in advance and if you have any questions or comments, please do not hesitate to contact our office at 905-948-0000.

Best regards,

Patrick Graham
Project Manager

Approved By: _____

Signature: _____

Date: _____



**CDS ESTIMATED NET ANNUAL SOLIDS LOAD REDUCTION
BASED ON THE RATIONAL RAINFALL METHOD
BASED ON A FINE PARTICLE SIZE DISTRIBUTION**



Project Name: Purplefarm Genetics
Location: Johnstown, ON
OGS #: 1

Engineer: Eastern Engineering
Contact: Colin Jardine, P.Eng
Report Date: 20-Feb-24

Area 0.396 ha
Weighted C 0.57
CDS Model 2015-4

Rainfall Station # 216
Particle Size Distribution FINE
CDS Treatment Capacity 20 l/s

<u>Rainfall Intensity¹</u> <u>(mm/hr)</u>	<u>Percent Rainfall Volume¹</u>	<u>Cumulative Rainfall Volume</u>	<u>Total Flowrate (l/s)</u>	<u>Treated Flowrate (l/s)</u>	<u>Operating Rate (%)</u>	<u>Removal Efficiency (%)</u>	<u>Incremental Removal (%)</u>
1.0	10.8%	20.5%	0.6	0.6	3.2	98.0	10.6
1.5	8.9%	29.4%	0.9	0.9	4.7	97.5	8.7
2.0	9.3%	38.7%	1.3	1.3	6.3	97.0	9.0
2.5	6.9%	45.5%	1.6	1.6	7.9	96.6	6.6
3.0	6.0%	51.5%	1.9	1.9	9.5	96.1	5.7
3.5	3.7%	55.2%	2.2	2.2	11.1	95.7	3.5
4.0	5.1%	60.3%	2.5	2.5	12.7	95.2	4.9
4.5	3.8%	64.1%	2.8	2.8	14.2	94.8	3.6
5.0	3.9%	68.0%	3.1	3.1	15.8	94.3	3.7
6.0	5.8%	73.8%	3.8	3.8	19.0	93.4	5.4
7.0	4.1%	77.8%	4.4	4.4	22.1	92.5	3.8
8.0	3.3%	81.2%	5.0	5.0	25.3	91.6	3.0
9.0	3.6%	84.8%	5.6	5.6	28.5	90.7	3.3
10.0	2.0%	86.8%	6.3	6.3	31.6	89.8	1.8
15.0	7.7%	94.5%	9.4	9.4	47.4	85.3	6.5
20.0	2.6%	97.1%	12.5	12.5	63.3	80.7	2.1
25.0	0.8%	97.9%	15.7	15.7	79.1	76.2	0.6
30.0	0.9%	98.8%	18.8	18.8	94.9	71.7	0.6
35.0	0.3%	99.1%	21.9	19.8	100.0	63.4	0.2
40.0	0.4%	99.5%	25.1	19.8	100.0	55.5	0.2
45.0	0.0%	99.5%	28.2	19.8	100.0	49.3	0.0
50.0	0.5%	100.0%	31.4	19.8	100.0	44.4	0.2

93.7

Removal Efficiency Adjustment² = 6.5%

Predicted Net Annual Load Removal Efficiency = 87.2%

Predicted Annual Rainfall Treated = 98.8%

- 1 - Based on 39 years of hourly rainfall data from Canadian Station 6100971, Brockville ON
- 2 - Reduction due to use of 60-minute data for a site that has a time of concentration less than 30-minutes.
- 3 - CDS Efficiency based on testing conducted at the University of Central Florida
- 4 - CDS design flowrate and scaling based on standard manufacturer model & product specifications



CDS Stormwater Treatment Unit Performance

Table 1. Fine Particle Size Distribution (PSD)

Particle Size (µm)	% of Particle Mass
< 20	20
20 – 40	10
40 – 60	10
60 – 130	20
130 – 400	20
400 – 2000	20

Removal Efficiencies – CDS Unit Testing Under Various Flow Rates

The following performance curves are based on controlled tests using a full scale CDS Model PMSU20_20 (2400 micron screen), 1.1-cfs (494-gpm) capacity treatment unit.

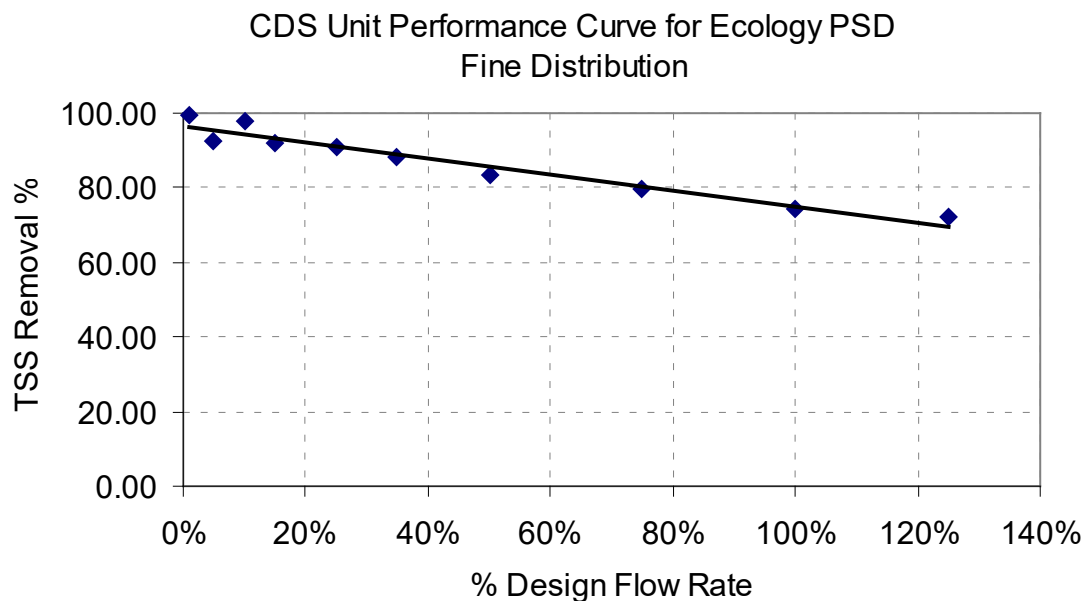


Figure 1. CDS Unit Performance for Fine PSD

CDS Unit Performance Testing Protocol

Tests were conducted using two types of sand – U.S. Silica OK-110 and UF sediment (a mixture of U.S. Silica sands). Particle size gradations for the two types of sand are illustrated in Figure 2.

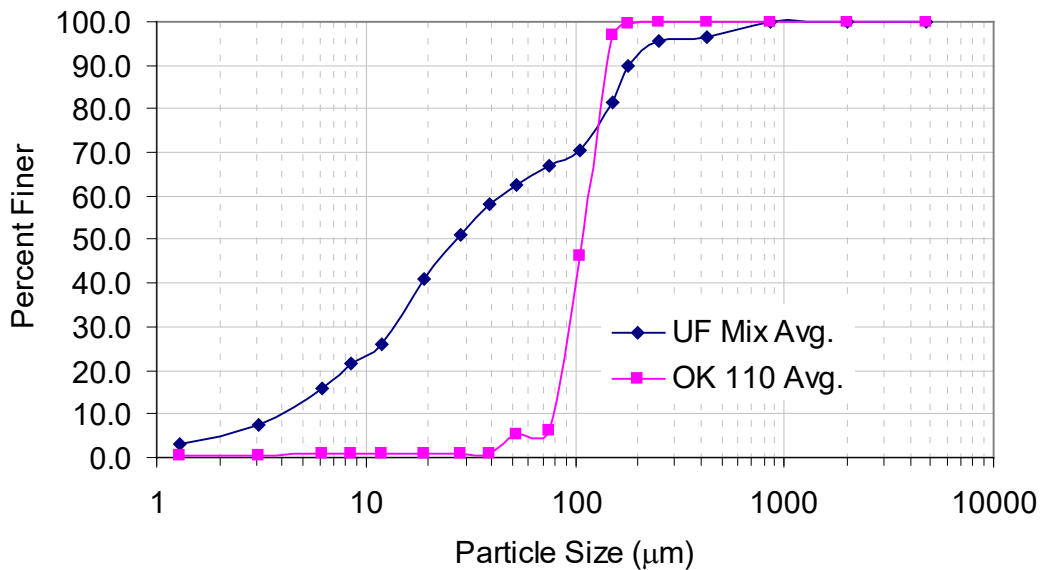


Figure 2. Test material particle size gradations - CDS Model PMSU20_20 test
 (Analytical results provided by MACTEC Engineering and Consulting Inc. FL
 ASTM D-422 with Hydrometer method)

The influent concentration (mg/L) for the test was set at 200-mg/L and verified from slurry feeding. Effluent samples were taken at fixed time intervals during each test run at various flow rates. The composite effluent samples were sent to Test American Analytical Testing Lab, OR for TSS analysis (ASTM D3977-97).

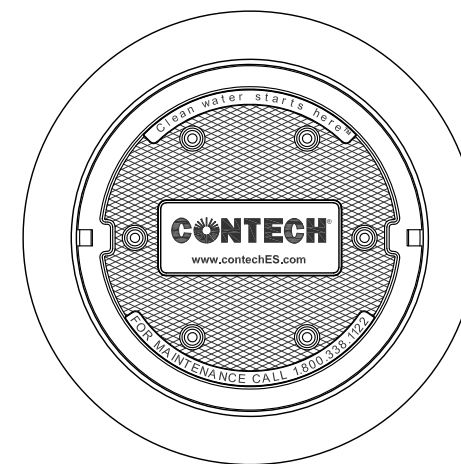
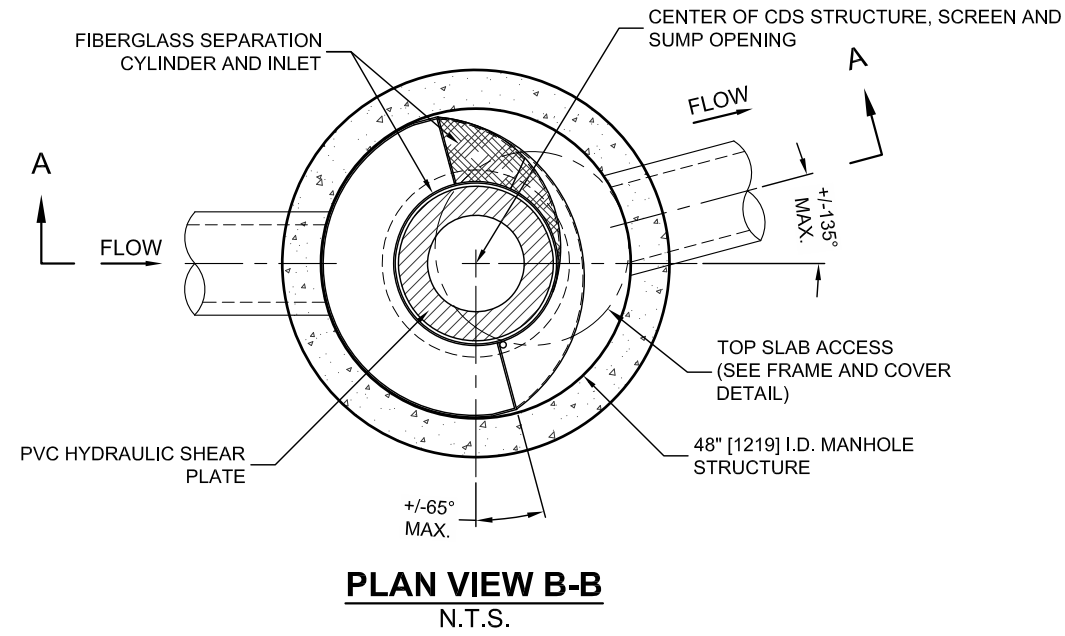
TSS removal rates for the specified PSD (d_{50} of 90 µm) under various flow rates were calculated from Figure 2 shows the removal efficiency as a function of operating flow rate. This removal efficiency curve as a function of percent flow rate can be applied to all CDS unit models.

CDS PMSU2015-4-C DESIGN NOTES

THE STANDARD CDS PMSU2015-4-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

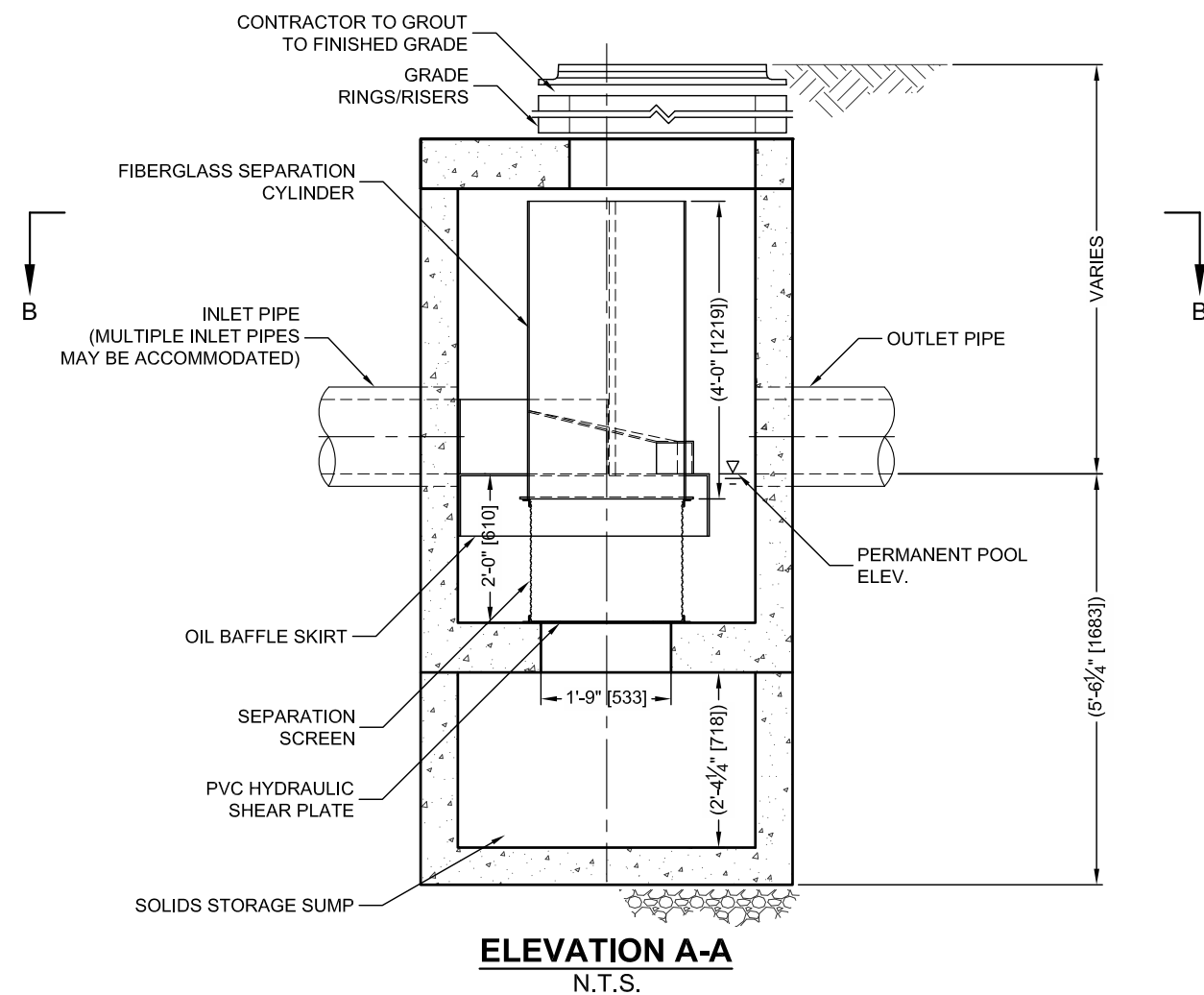
- GRATED INLET ONLY (NO INLET PIPE)
- GRATED INLET WITH INLET PIPE OR PIPES
- CURB INLET ONLY (NO INLET PIPE)
- CURB INLET WITH INLET PIPE OR PIPES
- CUSTOMIZABLE SUMP DEPTH AVAILABLE
- ANTI-FLOTATION DESIGN AVAILABLE UPON REQUEST



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID				
WATER QUALITY FLOW RATE (CFS OR L/s)				*
PEAK FLOW RATE (CFS OR L/s)				*
RETURN PERIOD OF PEAK FLOW (YRS)				*
SCREEN APERTURE (2400 OR 4700)				*
PIPE DATA:	I.E.	MATERIAL	DIAMETER	
INLET PIPE 1	*	*	*	
INLET PIPE 2	*	*	*	
OUTLET PIPE	*	*	*	
RIM ELEVATION				*
ANTI-FLOTATION BALLAST	*	*	*	*
NOTES/SPECIAL REQUIREMENTS:				
* PER ENGINEER OF RECORD				



GENERAL NOTES

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
4. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
5. STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET HS20 (AASHTO M 306) LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
6. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

INSTALLATION NOTES

- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- C. CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
- D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



THIS PRODUCT MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: 6,788,848; 6,841,722; 6,911,502; 6,981,783; RELATED FOREIGN PATENTS, OR OTHER PATENTS-PENDING.



www.contechES.com
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069
800-338-1122 513-645-7000 513-645-7993 FAX

**CDS PMSU2015-4-C
INLINE CDS
STANDARD DETAIL**

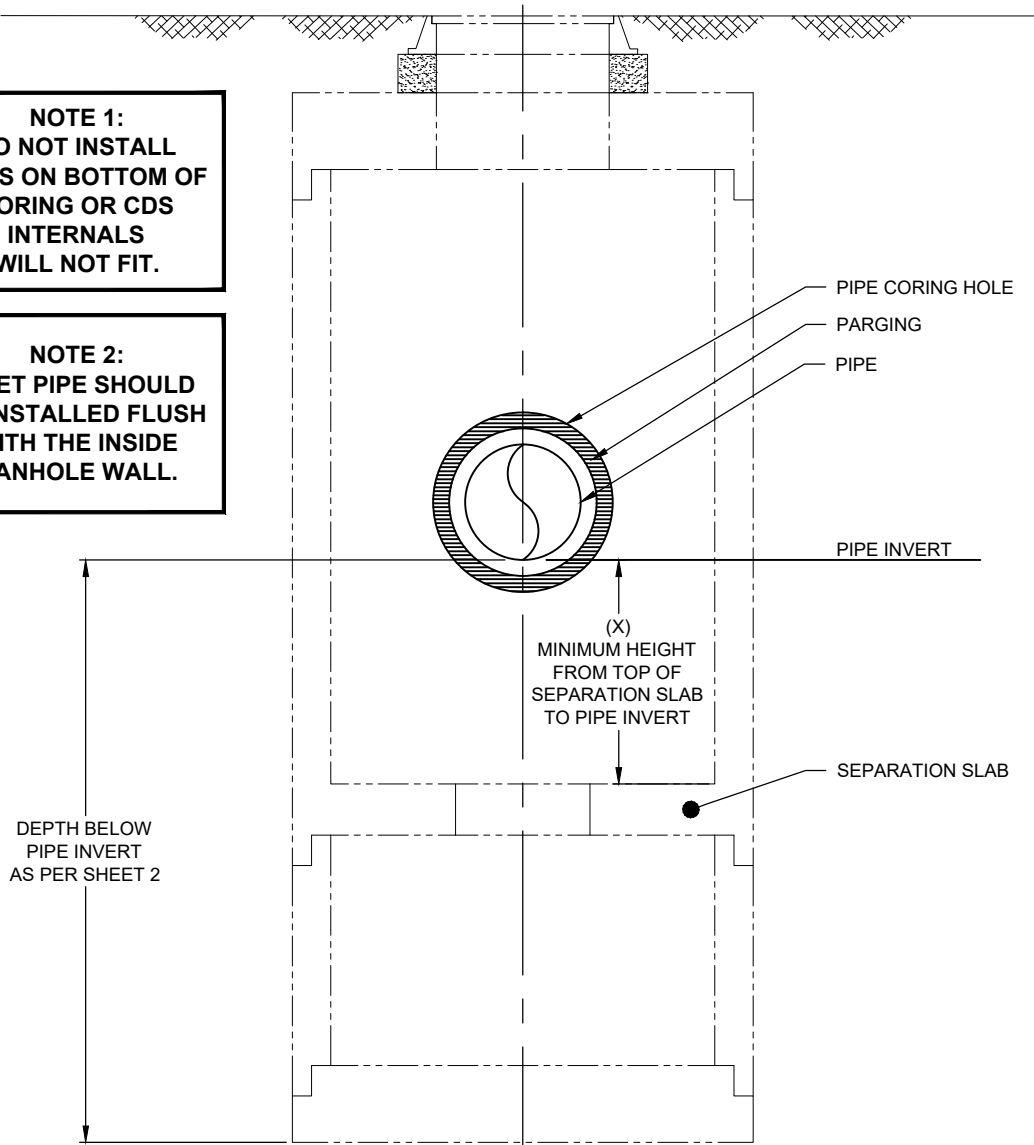


CDS INTERNALS HEIGHT

THIS PRODUCT MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: 5,788,848; 6,641,720; 6,511,595; 6,581,783; RELATED FOREIGN PATENTS, OR OTHER PATENTS PENDING.

NOTE 1:
DO NOT INSTALL
PIPES ON BOTTOM OF
CORING OR CDS
INTERNALS
WILL NOT FIT.

NOTE 2:
INLET PIPE SHOULD
BE INSTALLED FLUSH
WITH THE INSIDE
MANHOLE WALL.



HEIGHT OF CDS INTERNALS

CDS MODEL	DIMENSION X (m)	CDS MODEL	DIMENSION X (m)
20_15	0.610	40_30	1.080
20_20	0.787	40_40	1.397
20_25	0.889	40_45	1.524
30_20	0.838	56_40	1.397
30_25	0.940	56_53	1.804
30_30	1.080	56_68	2.311
30_35	1.250	56_78	2.616

CONTECH
ENGINEERED SOLUTIONS LLC
www.contechES.com

200 Enterprise Drive, Scarborough, ME 04074
877-907-8676 207-885-9830 207-885-9825 FAX

PROJECT NAME
CITY, ON
SITE DESIGNATION: CDS
Page 142 of 156

JOB No. : XXXX-XXX

SCALE : NTS

DATE : XX/XX/XXXX

SHEET :

DRAWN : XX

5

APPROV. :

SECTION [____]
STORM WATER TREATMENT DEVICE

PART 1 – GENERAL

1.1 DESCRIPTION

A. Scope

The Contractor shall furnish all labor, equipment and materials necessary to install the storm water treatment device(s) (SWTD) and appurtenances specified in the Drawings and these specifications.

B. Related Sections – **if applicable**

Section ****: Dewatering
Section ****: Excavation Support and Protection
Section ****: Excavation and Fill
Section ****: Soil Stabilization

1.2 QUALITY ASSURANCES

A. Inspection

All components shall be subject to inspection by the engineer at the place of manufacture and/or installation. Any components that do not comply with the requirements of this specification may be subject to replacement or repair at the **Consultant's** discretion.

B. Warranty

The manufacturer shall guarantee the SWTD components against all manufacturer originated defects in materials or workmanship for a period of twelve (12) months from the date the components are delivered to the owner for installation. The manufacturer shall upon its determination repair, correct or replace any manufacturer originated defects advised in writing to the manufacturer within the referenced warranty period.

C. Manufacturer's Installation Certificate

The SWTD manufacturer shall submit a "Manufacturer's Installation Certificate" certifying that each SWTD has been installed in accordance with manufacturer's installation instructions.

1.3 SUBMITTALS

A. Shop Drawings

The contractor shall prepare and submit shop drawings in accordance with Section [____] of the contract documents.

B. SWTD Sizing

The SWTD manufacturer shall submit a Sizing Report in accordance with the criteria set out in section 2.2.

C. Hydraulic Performance

The SWTD manufacturer shall submit a hydraulic report, stamped by a Professional Engineer licensed in the Province of Ontario, which verifies the system weir is sized correctly for the treatment flowrate and in addition, indicates the effect the SWTD has on the hydraulic grade line.

PART 2.0 – PRODUCTS

2.1 MATERIALS AND DESIGN

A. Precast concrete components shall conform to applicable sections of CSA standards, CAN/CSA A257.1, A257.2, A257.3, A257.4, ASTM C507M and OPSS 1351 and the following:

1. Concrete shall achieve a minimum 28-day compressive strength of 28 MPa;
2. Unless otherwise noted, the precast concrete sections shall be designed to CHBDC loadings;
3. Cement shall be Type (HE) Portland Cement conforming to (OPSS 1301);
4. Aggregates shall conform to OPSS 1001 & OPSS 1002;
5. Reinforcing steel shall be deformed billet-steel bars, welded steel wire or deformed welded steel wire conforming to CSA A23.4-94 and ASTM A 185 respectively; and,
6. Joints shall be sealed with fuel resistant joint sealing compound or gaskets.

B. Internal Components and appurtenances shall conform to the following:

1. Stainless Steel components shall be manufactured of Type 316 and 316L stainless steel conforming to ASTM F 1267-01;
2. Hardware shall be manufactured of Type 316 stainless steel conforming to ASTM A 320;
3. Fiberglass components shall be manufactured to ASTM D-4097;
4. Concrete components shall be designed to withstand CHBDC loadings.

2.2 PERFORMANCE

A. REMOVAL EFFICIENCIES

1. The SWTD shall be approved under the NJDEP testing and certification program.
2. The SWTD shall be designed to meet Ministry of Environment Enhanced performance criteria based on the particle size distribution defined in Section 2.2 A.2.

3. The SWTD must be able to meet the total suspended solids removal requirements stated in this section based on the following particle size distribution at a minimum. Sizing with a particle size distribution that is finer through the full particle range is also acceptable.

Particle Size (μm)	% Finer
< 20	20
20-40	10
40-60	10
60-130	20
130-400	20
400-2000	20

SWTD performance must be based on laboratory or field testing data. Sizing of the SWTD based solely on theoretical modeling is not acceptable.

4. The SWTD shall be capable of capturing and retaining 100 percent of pollutants greater than or equal to 2.4 mm regardless of the pollutant's specific gravity (i.e.: floatable and neutrally buoyant materials) for flows up to 20 l/s. The SWTD shall be designed to retain all previously captured pollutants addressed by this subsection under all flow conditions.
4. The SWTD shall be capable of capturing and retaining total petroleum hydrocarbons. The SWTD shall be greater than 95 percent effective in controlling dry-weather accidental oil spills.

The SWTD shall be capable of utilizing sorbent media to enhance removal and retention of petroleum based pollutants.

B. HYDRAULIC CAPACITY

1. The SWTD shall provide a rated-treatment capacity of 20 l/s. At its rated-treatment capacity, the device shall be capable of achieving greater than 65 percent removal efficiency of the particle size distribution provided in section 2.2.A.2.
2. The SWTD shall be equipped with an internal high flow bypass that is capable of conveying the maximum design flowrate from the treated drainage area with no flow going through the treatment portion of the unit.

C. STORAGE CAPACITY

1. The SWTD shall be designed with a sump chamber for the storage of captured sediments and other negatively buoyant pollutants in between maintenance cycles. The minimum storage capacity provided by the sump chamber shall be 0.838 m³. The sump chamber shall be physically separated from the treatment section of the SWTD such that accumulated grit does not reduce the treatment volume of the unit. SWTD that use the same chamber for treatment and grit storage are not acceptable. The minimum dimension providing access from grade to the sump chamber shall be 533mm in diameter.
2. The SWTD shall be designed to capture and retain Total Petroleum Hydrocarbons generated by wet-weather flow and dry-weather gross spills.

2.3 MANUFACTURER

The manufacturer of the SWTD shall be one that is regularly engaged in the engineering design and production of systems deployed for the treatment of storm water runoff for at least five (5) years and which have a history of successful production, acceptable to the Engineer. In accordance with the Drawings, the SWTD(s) shall be a Contech CDS[®] device as supplied by:

Echelon Environmental
505 Hood Road
Markham, ON
L3R 5B6
Tel: 905-948-0000

PART 3 – EXECUTION

3.1 INSTALLATION

1. The SWTD shall be installed in accordance with the manufacturer's recommendations and related sections of the contract documents. The manufacturer shall provide the contractor installation instructions and offer on-site guidance during the important stages of the installation as identified by the manufacturer at no additional expense.
2. The contractor shall fill all voids associated with lifting provisions provided by the manufacturer. These voids shall be filled with non-shrinking grout providing a finished surface consistent with adjacent surfaces.

END OF SECTION

SCHEDULE "D"

Site Plan Control Agreement

SPECIAL CONDITIONS

1. Location of Building Structures and Facilities

Building structures and facilities shall be located as per the Site Plans forming Schedule "B" to this Agreement.

2. Drainage and Stormwater

Drainage and stormwater shall be managed as per Schedule "B" to this agreement, and as recommended by the stormwater management plan forming Schedule "C" to this agreement.

3. Servicing

The property must be serviced by municipal water and sewer services as per the plans forming Schedule "B" to this agreement and all water discharge to sanitary and storm sewers must be in accordance with the Township's Sewer Use Bylaw.

A water/wastewater permit shall be obtained from the Township prior to the installation of water and sewer services.

4. Site Access & Roads

The site shall be accessed as per the site plan forming Exhibit 2 of Schedule "B". A permit shall be obtained from the Township for any extension or relocation of the existing entranceway. No additional entranceways shall be established without the consent of the appropriate road authority.

A road cut permit from the United Counties of Leeds and Grenville is required before undertaking any work to the ditch.

5. Refuse Storage and Disposal

The property shall be maintained in a neat and tidy condition and all refuse shall be deposited in proper containers which are screened from view. The owner shall be responsible for the disposal of refuse from his/her/their property.

6. Snow Removal

Snow removal is the responsibility of the owner.

7. Firefighting

The owner is responsible for the installation of a fire hydrant, as per the site And servicing plan forming Exhibit 2 of Schedule "B." The type and specifications of the hydrant shall be determined by the Fire Chief of the Township of Edwardsburgh Cardinal.

8. Lighting

Illuminated/lighted signage and lighting shall be designed, installed and maintained to:

- i) Prevent light spill over or glare onto the County road allowance; and
- ii) Prevent light from falling within the vision of motorists in such a manner as to create a traffic hazard; and
- iii) Not diminish or detract from the effectiveness of any traffic signal or similar safety or warning device,

as determined by the Director of Public Works of the United Counties of Leeds and Grenville or his/her designate. Digital/LED signs are not permitted.

**THE CORPORATION OF THE
TOWNSHIP OF EDWARDSBURGH CARDINAL**

BY-LAW NO. 2024-

**“BEING A BY-LAW TO APPOINT A BUILDING INSPECTOR FOR THE
TOWNSHIP OF EDWARDSBURGH CARDINAL”**

WHEREAS the Building Code Act, 1992, S.O. 1992, c. 23, Section 3(2), provides that each municipality shall appoint a Chief Building Official and such inspectors as are necessary for the Enforcement of said Act in the areas in which the municipality has jurisdiction;

NOW THEREFORE the Council of the Corporation of the Township of Edwardsburgh Cardinal enacts as follows:

1. That Roger Huttman is hereby appointed Building Inspector for the Township of Edwardsburgh Cardinal to act on behalf of the Chief Building Official in his/her absence and that as a senior Building Official, shall perform the duties of the Chief Building Official as set out in the Building Code Act, 1992 S.O. 1992 c.23, as amended.
2. That Roger Huttman shall do all things and perform all duties of this office heretofore stated, pursuant to the statutory authority quoted heretofore.
3. That this by-law shall come into force and effect retroactively on January 4, 2022.

Read a first and second time in open Council this 26 day of August, 2024.

Read a third and final time, passed, signed and sealed this 26 day of August, 2024.

Mayor

Clerk

CAO's ADMINISTRATIVE UPDATE TO COUNCIL

ADMINISTRATION / ECONOMIC DEVELOPMENT

Bylaw	The BLEO continues to proactively and reactively address new and ongoing issues and trying to work with residents to educate and gain compliance for bylaw matters.
Upcoming meeting schedule Time – 6:30pm unless noted otherwise	Tuesday, September 3 – Committee of the Whole – Community Development Monday, September 9 – Committee of Whole – Administration & Operations Monday, September 23 – Port Management Committee Monday, September 30 or Tuesday, October 1 – Regular Council September 30 is National Day of Truth and Reconciliation

TREASURY

CR2 Grant Funding	The certificate of substantial completion on this project has been received by Jewell Engineering. The final report has been filed with the Ministry of Infrastructure and the final holdback of 10% of the ICIP grant is being processed. This amount is currently in our Accounts Receivable.
Final Tax Bills	The final tax bills for 2024 were sent out on time at the beginning of August. We are seeing payments starting to come in.
FMW	The Salary Plan has been completed and is in the test environment. Capital Plan is underway, and staff is working with the implementation advisor to complete this last module of the software.
ADP	We continue to work with the ADP implementation team, making some adjustments to processes to maximize the program's efficiency for our organization. These should be completed by our next bi-weekly pay run.

FACILITIES/RECREATION

Camps & Lessons	Summer camps and lessons wrapped up on Friday, August 23rd the Cardinal pool will remain open August 26-30 th for public swimming from 12 noon 4 pm. weather dependent.
Blue Grass Festival	Organizers were pleased with the support received from the Parks & Recreation department. Arena washrooms and showers along with garbage pick-up throughout the weekend was appreciated.

Gallop Canal	Special thanks to the Kanata Dive club for their underwater cleanup last Sunday (August 11 th). Parks & Recreation staff took three trucks of garbage away on that day.
Pickleball Courts	Courts are utilized daily and well into the evenings
Bass Pro Derby	Staff assisted in the early morning parking for trucks and trailers, like last year when we supplied a bus to transport the anglers down to the water. 50 anglers participated in the event. Parks staff had a couple of our new bleachers onsite as well for the crowds to view the weigh in.
SNC Fishing Derby	SNC used the pavilion and water from last week for a two-day fishing program which was well attended.
Ingredion Arena	Ice plant turned on last week; staff are installing the ice, first rental is September 2nd. Spencerville ice will be ready for September 25 th .
Adult Skating	Resumes on September 3 rd in the mornings for the season, other public skating and parent & tot programs will resume first week of October.
New Horizen Seniors Program Grant	We applied for the mentioned grant to offer a seniors-based introduction to the internet and basic computer skills with various Microsoft programs. We were successful, we will run (2) 6 week programs starting mid-October and the other in Mid-January . Wednesday nights at the Johnstown Hall and Thursday mornings at Ingredion arena. We will be posting on social media in the next couple of weeks.
Spencerville Fair	Staff are gearing up and getting the arena ready for the fair. I have been in contact with the fair board executive and will offer the same manpower as last year.
Community Sport and Recreation Infrastructure Fund	New funding has just been released with a late October deadline; we will work on preparing an application for the Splash Pad project. We are just finalizing with the consultants to have the pricing ready.

OPERATIONS – PUBLIC WORKS

Weir Bridge	Work is progressing at a reasonable rate. The contractor is a couple weeks behind schedule due to weather-related delays. Anticipate the contractor transitioning to the west side of the bridge on or before August 30.
Jordan Rd Culvert Replacement	The road closure will be extended to August 30 to allow the contractor to complete the project. The road closure was originally anticipated to be a 1-week duration. This was extended for an additional week on August 15 by contractor request due to high amounts of precipitation impacting dewatering operations and equipment breakdown. The contractor did encounter a Bell cable

	that has slowed progress and a couple change orders issued. The project is set to be completed before August 30.
Totem Ranch Road	North Grenville has awarded the work to Blair Asphalt. The paving is scheduled for August 26 based on the last report, but the precipitation may push out the work.
Roads Program	Second Street – Sophia to Mary Street – Asphalt completed. Sophia Street - Second to Albert Street - Asphalt completed. Armstrong and Cedar Grove Road – areas are in the final stages of being prepped for asphalt. Change order issued on Armstrong Rd for additional Granular “B” material on base. Reid Street – Subcontractor to begin water service line replacements this week. Remainder of roads scheduled for September/October
Road Patrol App	Staff working with Citywide to link road segment assets and create additional road assets. Although the process is still on-going, it’s been a good verification and review. Anticipate having system operational for upcoming winter season.
Cardinal Works Yard Clean-up	Extending thanks to all departments who participated in a general clean-up initiative at the works yard in Cardinal last week. Clean up ongoing.
Tree Removals	Begun in Johnstown, weather slowing progress of removals.
On-Going Activities	Perform Routine Road Patrols. Ongoing work includes Vehicle Maintenance, pothole repairs, maintenance grading, roadside mowing, ditch works, entrance culvert installations, and 911 sign installations.

OPERATIONS – ENVIRONMENTAL SERVICES

Capital Projects	The Splitter box lining and installation of new flow meter device at the Spencerville lagoons are complete.
MECP Inspection	MECP completed an unannounced inspection for the Cardinal and Industrial Park drinking water systems on July 23. We anticipate an inspection report within the next couple of months.

OPERATIONS – MUNICIPAL DRAINS

	No activity this month
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FIRE DEPARTMENT

HR	A firefighter for a day program is planned on Saturday October 5. This will be a similar format to the successful women's bootcamp but open to anyone over the age of 17. The objective is to allow participants an opportunity to learn some basic firefighting skills and potentially apply to the department.
	A policy dealing with proper sealing of respiratory protection is being developed and will be rolled out at the next association meeting. (clean shave policy)
Training	The new Ontario Fire College learning portal is being rolled out to the membership. The system will allow individuals to track their progress through certification, identify training opportunities and apply online.
	A training schedule has been developed for the year's balance focusing on both skills and team building.
	Training Officer Roberts is completing NFPA 1041 Fire Instructor level 3 in Central York.
Fleet	All apparatus have received their annual service and MTO safety inspection. The only significant repairs completed were new rear brakes on Pumper 1.
	Krown rust treatment has started with 3 of 9 vehicles completed so far.
Fire Prevention	A facility tour of Levac Propane was completed by EC and Prescott firefighters.
	The fire department will have a greater presence at the Spencerville Fair this year with a tent operating throughout the event providing fire prevention and fire department recruitment information.
	The fire department visited both Cardinal and Johnstown day camps providing information on fire safety, firefighter PPE and a refreshing hose down.
	Chief attended the Leeds Grenville Fire prevention Committee meeting held at Leeds 1000 Islands with presentations provided by TSSA.
Facilities	The emergency lighting unit at station 1 failed and has been replaced by Coville Electric.
	Electrical Safety Authority inspection completed at both stations with minor follow-up in due course.
Other	Annual advanced gear cleaning and inspection program completed for all issued gear.
	This year's fire protection grant application has been submitted for the purchase of a gear washer and dryer for station 2.

EMERGENCY MANAGEMENT

	No activity this month
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Councilors are reminded to please forward or cc sent/received email correspondence that is a municipal record to councilmail@twpec.ca

TOWNSHIP OF EDWARDSBURGH CARDINAL

August 26, 2024

Resolution Number: 2024- _____

Moved By: _____

Seconded By: _____

COPY

THAT Municipal Council receives the Mayor's Report as presented.

Carried Defeated Unanimous

Mayor: _____

RECORDED VOTE REQUESTED BY: _____

NAME	YEA	NAY
Councillor J. Martelle		
Councillor W. Smail		
Councillor C. Ward		
Deputy Mayor S. Dillabough		
Mayor T. Deschamps		
TOTAL		

**THE CORPORATION OF THE
TOWNSHIP OF EDWARDSBURGH CARDINAL**

BY-LAW NO. 2024-

**“A BY-LAW TO ADOPT, CONFIRM AND RATIFY MATTERS DEALT WITH BY
RESOLUTION”**

WHEREAS Section 5(3) of the Municipal Act 2001, SO 2001, Chapter 25, as amended, provides that the powers of a municipality shall be exercised by by-law;

AND WHEREAS in many cases, action which is taken or authorized to be taken by the municipality does not lend itself to the passage of an individual by-law;

NOW THEREFORE the Council of the Corporation of the Township of Edwardsburgh Cardinal enacts as follows:

1. That the actions of the Township of Edwardsburgh Cardinal, at its meeting held on August 26, 2024 in respect of recommendations contained in the reports of committees considered at the meeting and in respect of each motion, resolution and other action taken by the Township of Edwardsburgh Cardinal at its meeting are, except where the prior approval of the Ontario Municipal Board or other authority is required by law, hereby adopted, ratified and confirmed as if all such proceedings were expressly embodied in this by-law.
2. That the Mayor and the appropriate officials of the Township of Edwardsburgh Cardinal are hereby authorized and directed to do all things necessary to give effect to the actions of the Council of the Township of Edwardsburgh/Cardinal referred to in the preceding section.
3. That except as otherwise provided, the Mayor and Clerk are authorized and directed to execute all documents necessary on behalf of the Township of Edwardsburgh Cardinal.

Read, passed, signed and sealed in open Council this 26 day of August, 2024.

Mayor

Clerk