



**AGENDA
COMMITTEE OF ADJUSTMENT**

Tuesday, March 4, 2025, 4:00 PM

**Corporation of The Township of Edwardsburgh Cardinal
Council Chambers, Spencerville Ontario**

Indigenous Land Acknowledgement:

The Township of Edwardsburgh Cardinal is situated on traditional territory of Indigenous peoples dating back countless generations, which is rich in history and home to many First Nations, Métis and Inuit people today.

As a Township, we have a responsibility for the stewardship of the lands on which we live, work and play, and today, this meeting place is still home to Indigenous people, and we are grateful to have the opportunity to work on and call this land home.

- 1. Call to Order**
Chair, Stephanie Summers
- 2. Disclosure of Pecuniary Interest or Conflict of Interest & the General Nature Thereof**
- 3. Application A-02-25 (22 Frederick Street)**
 - a. Proposal details
 - b. Public comments
 - c. Committee review and decision
- 4. Application A-01-25 (2 Tuttle Point)**
 - a. Proposal details
 - b. Public comments
 - c. Committee review and decision
- 5. Adjournment**



Township of Edwardsburgh Cardinal

Report to the Committee of Adjustment

Public Meeting Date: March 4, 2025

Application for Minor Variance A-02-25

Property Location: 22 Frederick Street

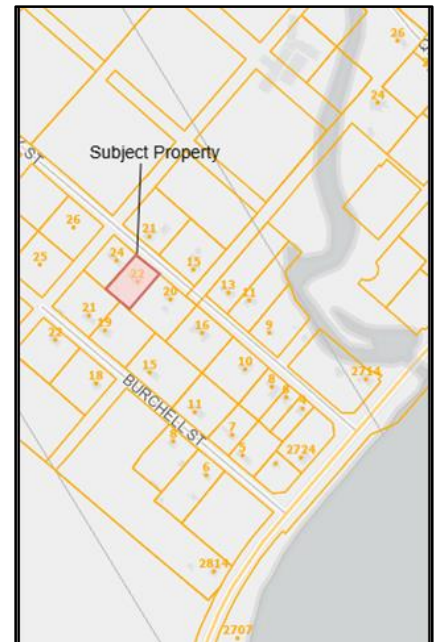
Property Description: Plan 6, Lot 17

Roll Number: 070170102004506

Owner: Johnathan and Caitlin McNickle

Agent: Lockwood Brothers Construction

The purpose and effect of minor variance application A-02-25 for the property municipally known as 22 Frederick Street, is to obtain relief from the provisions of Zoning By-Law Number 2022-37. The applicant is requesting a variance to permit partial shared services to an additional residential unit to be located in an accessory building in the rear yard. The by-law provision requires the additional residential unit to share both private water and sewage disposal system.



Requested Variance:

1. Section being Varied: Section 4.1.6, Additional Residential Units

Existing Requirement: All additional residential units shall be connected to the same water supply and sewage disposal systems as the principal dwelling.

Requested Variance: The additional residential unit shall be connected to either a private water supply or a sewage disposal system as the principal dwelling.

Site Characteristics: The subject property is a 0.25 hectare parcel of land with approximately 39 metres of road frontage on Frederick Street. The property is developed with a detached single-family dwelling with attached garage on full private services (well and sewage disposal system). The rear yard is developed with a swimming pool and shed.

The subject property is located within the Village of Johnstown and is adjacent to single family dwelling uses developed on individual private services to the north, east, south and west.

Current Policy and By-Law: The subject property is designated Rural Settlement Area in the County of Leeds and Grenville Official Plan and Settlement Policy Area in the Township of Edwardsburgh Cardinal Official Plan.

The property is zoned Residential First Density (R1) in the Township of Edwardsburgh Cardinal Zoning By-Law Number 2022-37.

Provincial Planning Statement: Subsection 3(5) of the Planning Act requires that a decision in respect of the exercise of any authority that affects a planning matter shall be consistent with the Provincial Planning Statement (the PPS). The PPS provides policy direction on matters of provincial interest related to land use planning and development which are complemented by local policies addressing local interests. The application being considered is site specific to accommodate a specific proposal and does not involve any major policy considerations and as such, the proposal conforms to and is consistent with the PPS.

Applying the four tests of a minor variance: Section 7.7.3 of the Township's Official Plan, provides policies pertaining to the Committee of Adjustment stating that where existing or proposed uses that conform to the use provisions of the Zoning By-law implementing this Plan are non-complying with respect to performance standards, the Committee of Adjustment may authorize minor variances from the provisions of the implementing Zoning By-law provided that the general intent and purpose of the Official Plan and Zoning By-law are maintained and that the variances are minor and desirable for the appropriate development of the lands.

The review of an application for minor variance is not a simple mathematical calculation, but rather a detailed assessment of whether the variance or variances requested, both separately and together, meet the four tests of a minor variance outlined in Subsection 45(1) of the Planning Act. The following provides this review:

1. Does the application maintain the general intent and purpose of the Official Plan?

The subject property is designated as Settlement Policy Area in the Township of Edwardsburgh Official Plan and subject to the policies of Section 3.1. The Settlement Policy Area designation is intended to be the areas of the Township where growth will be focused in order to optimize the use of public services and infrastructure, and to minimize the outward sprawl of development into areas of natural resources and natural heritage.

The goal of the policy is to create sustainable mixed-use communities where the unique local character of each of the Township's villages and hamlets will be maintained and where the vitality and regeneration of the Township's communities will be promoted and encouraged. Where possible, the Township will promote intensification, infill and redevelopment of vacant and/or underutilized sites, subject to appropriate servicing.

The owner is proposing to establish an Additional Residential Unit (ARU) in a proposed accessory structure in the rear yard. ARU's are subject to the policies of Section 6.2.1 of the Official Plan. Additional residential units are self-contained dwelling units, that are subordinate to an existing dwelling and contains its own separate cooking and bathroom facilities in addition to the usual living quarters. They are an efficient and cost-effective means of increasing the supply of housing, affordable housing and special needs housing.

Standards shall be established in the Zoning By-law to govern compatibility with both the main dwelling and with surrounding land uses, as well to ensure a secondary relationship to the main dwelling. The Zoning By-law will consider matters such as parking requirements, servicing and other matters considered appropriate by Council.

Additional residential units shall be appropriately serviced. In the case where the primary dwelling is supported by private services, the additional residential unit shall be required to share the private service.

The detached single-family dwelling developed with private onsite services and its accessory uses are permitted uses on land designated as Settlement Policy Area in the Official Plan. The proposed additional residential unit in the accessory structure which is to be located in the rear yard, complies with the intent of Section 6.2.1 regarding ARU's. The policy requires the ARU to be developed sharing the private

service. It is staffs' interpretation of this policy that 'private service' is singular and is therefore required to share one or both private services.

The proposed ARU to be developed with a shared well with the primary dwelling and each having separate sewage disposal systems is in keeping with the intent of the Official Plan and specifically Section 6.21 pertaining to additional residential units.

2. Does the application maintain the general intent and purpose of the zoning bylaw?

The property is zoned Residential First Density (R1) in the Township of Edwardsburgh Cardinal Zoning By-Law Number 2022-37. The single-family dwelling developed on private services (well and sewage disposal system) is a permitted use in the (R1) zone. The subject property has an existing lot area of 0.25 hectares which does not comply with the minimum lot area of 0.4 hectares for a lot in the R1 zone with private services. The subject lot is legal non-complying as is as legally created prior to the passing of Zoning By-Law 2022-37. Any new development on the subject lot is required to comply with the requirements of the zoning by-law.

The proposed additional residential unit to be established within a proposed accessory structure in the rear yard complies with the requirements of the R1 zone and requirements for an accessory structure. The proposal however does not comply with Section 4.1.6 which requires an ARU to be connected to the same services as the principal dwelling. A variance is requested to permit the ARU to be connected to the same water supply as the dwelling and provide a separate sewage disposal system to be located in the rear yard.

The intent of Section 4.1.6 was to prevent an ARU from being created on full separate services which could result in the potential of future requests to sever a new lot since two dwellings were located on one lot. Providing at minimum one connection to the same service as the dwelling will render the ARU to be considered dependent on the primary dwelling and cannot be considered a separate and independent unit.

The proposal is site specific, and the requested variance meets the general intent of the Zoning By-Law and Official Plan policies.

3. Is the application minor in nature?

The proposal maintains the residential character of the settlement area and is anticipated to have no negative impacts on the abutting lands or inhibit their continued enjoyment of their properties. The additional residential unit is in keeping

with the “More Homes Built Faster” policy changes made the Provincial Government and will support intensification on existing lots in a settlement area. The ARU will be developed using the existing well which services the principal dwelling while each will have its own separate sewage disposal system, making the unit dependent on the principal dwelling which is in keeping with the Official Plan policies pertaining to additional residential units.

A building permit is required prior to the construction of the ARU and the new sewage disposal system.

The requested variance is in keeping with the policies of the Official Plan and Zoning By-Law provisions and will not result in any negative impacts on the abutting lands or their continued use and is therefore considered minor in nature.

4. Is the application desirable for the appropriate development or use of the land, building or structure?

The requested variance will permit an additional residential unit in an accessory structure to be constructed in the rear yard, connected to the existing well which services the principal dwelling and each having separate and independent sewage disposal systems.

The location of the accessory structure complies with the requirements of the Zoning By-law. A walkway is provided from the entry of the ARU to the existing driveway. The rear yard is developed with a swimming pool and shed with the well located in the rear yard and the existing sewage disposal system for the principal dwelling, located in the front yard.

The existing sewage disposal system in the front yard makes it difficult for the ARU to tie it into the existing service. The applicant proposes a Waterloo Biofilter System which has a new septic tank to be located 1.5 metres from the eastern wall of the ARU. The effluent from the two chambered septic tank will then be pumped to the Biofilter tank and then dispersed within a 6 metre by 20 metre tile bed located at the southern corner of the lot. The location of the new septic tank and bed is a result of the Ministry of Environment and Energy requirement of 15 metres of separation or a septic system to a well while complying with the septic requirements under the Ontario Building Code.

The variance is site specific and addresses servicing for the proposed additional residential unit in the accessory building in the rear yard. The applicant has

demonstrated that development will comply with the requirements of the R1 zone and that services can be located entirely within the existing lot and therefore the proposal is considered to be desirable for and appropriate for development for the subject lot.

Technical Comments: The application was circulated to internal and external departments. There were no written comments or objections received by staff at the time of preparing this report.

Notification: Pursuant to the requirements of the *Planning Act*, notice of the statutory public meeting was provided 10 days in advance of the public meeting.

A total of 12 property owners who fell within the required 60 metre notification radius of the subject property, were notified by regular mail, which was dated February 21, 2025. Property ownership was derived from the latest MPAC assessment prior to the date of mailing.

Additional notice in the form of signage was posted along the frontage of the subject property. Notice was also posted on the Townships website.

Public Comments: There were no written comments or objections received by staff at the time of preparing this report.

Financial Considerations: The applicant has submitted the required fee to the Township for the minor variance, in accordance with the Planning Fees Bylaw 2022-40.

Attached Drawings and Supporting Documents:

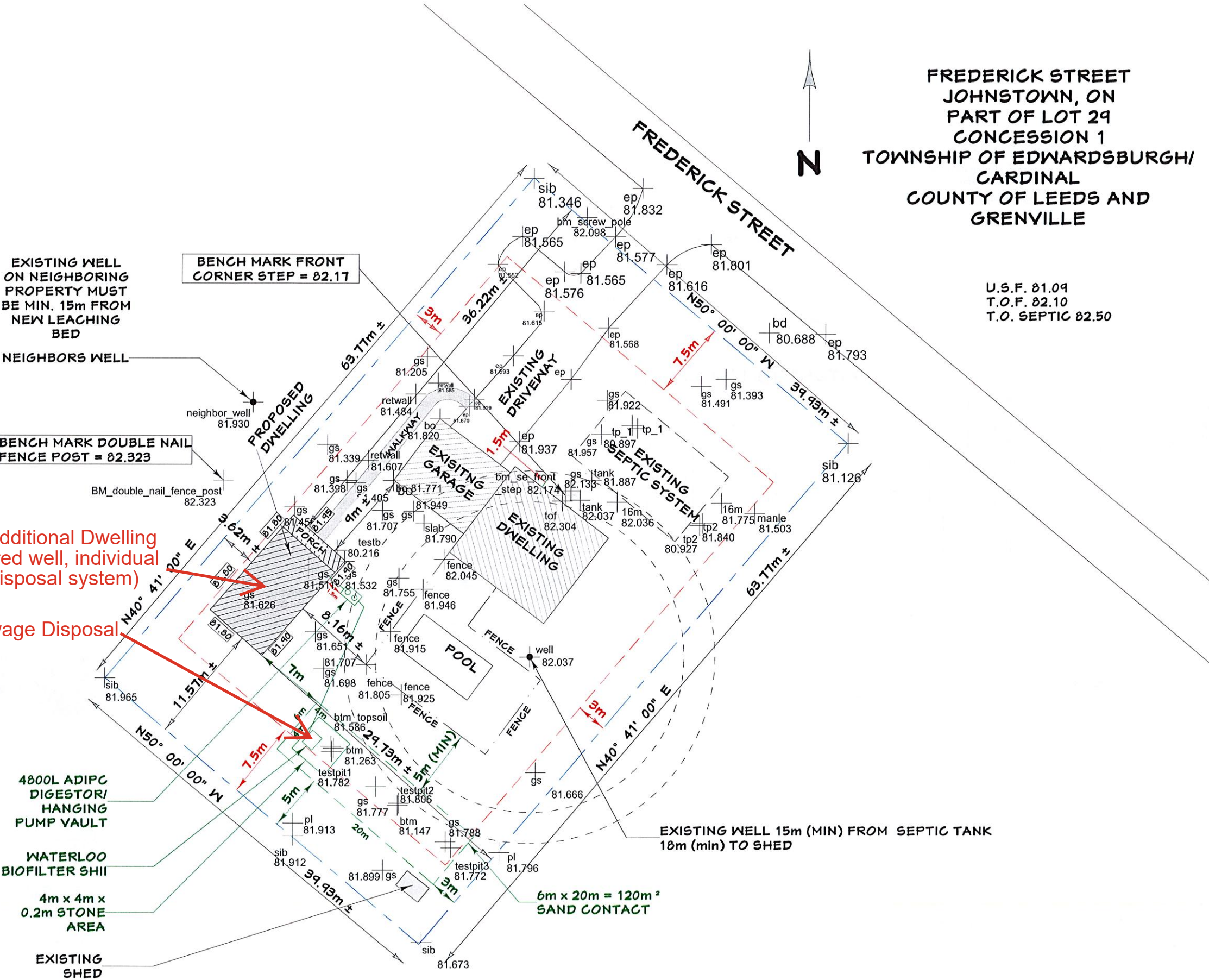
- a) Site Plan Drawing; and
- b) Floor Plan and Elevation Drawings.

Recommendation: That the Committee of Adjustment approve minor variance application A-02-25 to permit an additional residential unit (ARU) to be connected to either a private water supply or a sewage disposal system which services the principal dwelling, subject to the following conditions:

1. That the owner/applicant obtain a Building Permit from the Township prior to the construction of the ARU unit in the accessory structure and new sewage disposal system; and
2. That the owner/applicant shall provide the Building Department with a copy of the Notice of Decision and the approved site plan drawing attached to the notice as part of the Building Permit Application Submission.



Tim Fisher
Municipal Land Use Planner



Lockwood Brothers
CONSTRUCTION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code.

Qualification Information

JOHN SPYK
NAME


SIGNATURE

47119
BCIN

LOCKWOOD BROTHERS CONSTRUCTION
FIRM

38088
BCIN

CUSTOMER:
MCNICKLE

DRAWING NO.
2024-016

DRAWING NAME:
SITE PLAN

SCALE:
Sheet #
A10

DATE:
OCT 10, 2024



Please note that renderings are for illustration purposes only and may not reflect exact choices & inclusions in project contract.

Lockwood Brothers CONSTRUCTION	
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code.	
Qualification Information	
JOHN SPYK NAME	SIGNATURE <i>John Spyk</i> 41179 BCIN
LOCKWOOD BROTHERS CONSTRUCTION FIRM	38088 BCIN
CUSTOMER: MCNICKLE	DRAWING NO. 2024-016
DRAWING NAME:	
SCALE: 3/16" = 1'-0"	Sheet # A1
DATE: OCT 10, 2024	

OWNER & BUILDER'S NOTE

THESE PLANS SHALL NOT BE USED FOR CONSTRUCTION UNTIL STAMPED AND SIGNED BY A QUALIFIED DESIGNER & THE LOCAL BUILDING DEPARTMENT. THE BUILDER IS EXPECTED TO FOLLOW THESE PLANS, APPLICABLE BUILDING CODES AND LOCAL ORDINANCES. HE SHALL VERIFY THAT SIT CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING CONSTRUCTION. WHILE THESE PLANS ARE DRAWN TO SHOW THE PROPOSED WORK AS ACCURATELY AS POSSIBLE, SCHEMATIC DETAILS MAY BE USED IN SOME CASES FOR CLARITY. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES.

THE DESIGNER ASSUMES NO RESPONSIBILITY FOR SCHEDULING, FABRICATION, CONSTRUCTION TECHNIQUES OR MATERIALS, OR QUANTITIES USED IN THE WORK. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR FIELD CHANGES, SITE VARIANCES OR DISCREPANCIES NOT BROUGHT TO HIS/HER ATTENTION FOR CLARIFICATION

THE INFORMATION SHOWN ON THIS

SITE PLAN WAS PROVIDED BY THE

OWNER. FIELD SURVEY OR

VERIFICATION WAS NOT MADE.

OWNER:

PROJECT ADDRESS:

JURISDICTION:

ZONING:

APN:

SITE AREA:

PERMIT #:

SOIL PARAMETERS:

BASED ON SOILS INDIGENOUS TO THE AREA:
BEARING PRESSURE - 1600 PSF
LATERAL ACTIVE PRESSURE 35 PSF
FLUID EQUIVALENT
SOIL-CONCRETE COEFFICIENT 0.35
SOIL PROFILE SD

GENERAL NOTES

ALL WORK SHALL BE DONE IN ACCORDANCE WITH 2012 ONTARIO BUILDING CODE AND LOCAL CODES.

FOUNDATION AND TRUSS DESIGN SHALL BE VERIFIED BY A QUALIFIED ENGINEER FOR COMPLIANCE WITH SITE REQUIREMENTS.

DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER THE SCALING OF DRAWINGS.

WALL DIMENSIONS ARE TO THE EXTERIOR OF FRAMING UNLESS NOTED OTHERWISE.

LUMBER COMING IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED OR PROTECTED WITH AN APPROVED VAPOR BARRIER.

CONTINUOUS CONTACT WITH THE GROUND SHALL BE TREATED TO A MINIMUM OF .60 CCA.

ALL FRAMING LUMBER TO BE #2 OR BETTER DF OR EQUIVALENT, UNLESS NOTED OTHERWISE.

EXTERIOR AND INTERIOR MATERIALS AND FINISHES TO BE DETERMINED BY OWNER.

ALL REQUIRED SMOKE ALARMS NEED A VISUAL COMPONENT.

BLOCKING FOR NON-LOAD BEARING INTERIOR WALLS PARALLEL TO FLOOR JOISTS SHALL BE MIN. 2x4 @ 4'-0" O.C.

BUILDING PERFORMANCE

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS.

PORCHES AND GARAGE AREAS NOT INCLUDED IN LIVING AREA.

ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR.

ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH POLYURETHANE FOAM.

ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR.

FURNACE FIREBOX SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES.

ATTIC ACCESS SHALL BE:

A MINIMUM OF 22" X 36". THERE SHALL BE 30" MIN. CLEARANCE AT OR ABOVE THE OPENING.

LOCATED IN A CORRIDOR, HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. ATTICS WITH A MAXIMUM VERTICAL HEIGHT OF LESS THAN 30" WILL NOT REQUIRE ACCESS OPENINGS

HATCHWAYS TO ATTIC OR ROOF SPACES SHALL BE FITTED WITH DOORS OR COVERS

VENTILATION:

WHERE INSULATION IS INSTALLED BETWEEN A CEILING AND THE UNDERSIDE OF THE ROOF SHEATHING, A SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE SHEATHING, AND VENTS SHALL BE INSTALLED TO PERMIT THE MOVEMENT OF AIR FROM THE SPACE TO THE EXTERIOR.

ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 150 SQ. FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

UNDER FLOOR SPACES SHALL HAVE VENTILATION EQUAL TO ONE SQ. FOOT PER 150 SQ. FEET OF FLOOR SPACE. VENTS SHALL BE CAST INTO THE CONCRETE STEM WALLS AND COVERED WITH GALVANIZED WIRE SCREEN. VENTS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

RAILING NOTES:

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 35" MEASURED BETWEEN WALL FACES OR GUARDS.

TREADS SHALL HAVE A MIN. TREAD OF 11" AND MIN. RUN OF 10". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 1/4".

STAIRWAYS SHALL HAVE MIN. 6'-5" OF HEADROOM AT THE NOSE OF THE STAIR.

STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.

HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.

STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.

36" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS MORE THAN 24" BELOW.

RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".

THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH.

MIN. 77" HEADROOM HEIGHT OVER LANDINGS AS PER O.B.C. 9.8.6.4.(1)

DOORS

DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 20 MINUTES. DOOR SHALL BE SELF CLOSING.

MAIN ENTRANCE DOORS TO DWELLING UNITS SHALL BE PROVIDED WITH, A DOOR VIEWER OR TRANSPARENT GLAZING IN THE DOOR, OR A SIDELIGHT

INTERIOR DOORS TO BE PRE-PRIMED MDF. STYLE AND FINISH BY OWNER.

GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS, MATERIALS AND FINISH TO BE DETERMINED BY OWNER.

WINDOW SCHEDULE								
NUMBER	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	AREA, ACTUAL (SQ FT)
W01	2	1	4036	48"	42"	49"X43"	DOUBLE CASEMENT-LHL	14
W02	2	1	4036	48"	42"	49"X43"	DOUBLE CASEMENT-RHR	14
TOTALS:								56

DOOR SCHEDULE							
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION	AREA, ACTUAL (SQ FT)
D01	1	1	24"	80"	26 1/2"X83 1/2"	HINGED-3 PANEL	13.33
D02	1	1	26"	80"	53 1/4"X84 1/2"	POCKET-3 PANEL	14.44
D03	2	1	32"	80"	34 1/2"X83 1/2"	HINGED-3 PANEL	17.78
D04	3	1	34"	80"	36 1/2"X83 1/2"	HINGED-3 PANEL	18.89
D05	1	1	36"	80"	39"X83 3/4"	EXT. HINGED-DOOR E20	20
D07	1	1	48"	80"	50 1/2"X84 1/2"	SLIDER-DOOR P05	26.67
TOTALS:							166.67

NOTES:
DOUBLE PANE WINDOWS / DOORS
GRIDS AS PER ELEVATIONS

EXTERIOR FINISH NOTES

EXTERIOR FINISH TO BE SIDING AND TYPAR OVER 7/16 OSB. MATERIAL AND COLOR BY OWNER.

ROOFING TO BE LIGHT WEIGHT SHINGLES OVER 5/8" OSB w/ H CLIPS

CHIMNEY HEIGHT SHALL BE DETERMINED USING A 10' RADIUS PLANE AND SHALL BE 2' HIGHER THAN ANY ROOF SURFACE 10' FROM THE CHIMNEY.

DOWNSPOUTS TO BE COLLECTED AND ROOF RUN OFF TO BE DIRECTED AWAY FROM STRUCTURE.

FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 1/2" PER FOOT OF RUN FOR 4' MIN.

WINDOWS AND GLAZING

WINDOWS SHALL BE DOUBLE PANE WITH VINYL FRAMES AND CONFORM TO CAN/CSA-A440 MANUFACTURER AND COLOR TO BE DETERMINED BY OWNER.

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 34" ABOVE THE FINISH FLOOR HEIGHT (EXCLUDING BASEMENTS) AND SHALL HAVE A MINIMUM OPENABLE AREA OF 3.8 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 15" WIDE OR 24" HIGH.

SAFETY GLAZING SHALL BE PROVIDED IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS.

ALL EXTERIOR DOORS AND WINDOWS SHALL BE FINISHED WITH WEATHER RESISTANT COATINGS AND WEATHER STRIPPED.

REVISIONS		DATE
1. JOB MEETING REVISIONS		OCT 11/24
2. SEPTIC PLAN / PERMIT READY		OCT 31/24
3. SURVEY INFO ADDED		NOV 12/24
4. BUILDING MOVED AHEAD		NOV 22/24
5. NEW SEPTIC DESIGN		NOV 27/24
6. UPDATED SEPTIC & BUILDING LOCATION		DEC 13/24
7. RELOCATED SEPTIC TO REAR LOT		FEB 04/25
8.		
9.		
10.		

Lockwood Brothers
CONSTRUCTION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code.

Qualification Information

JOHN SPYK

SIGNATURE

47119

BCIN

LOCKWOOD BROTHERS CONSTRUCTION

38088

BCIN

CUSTOMER:

MCNICKLE

DRAWING NO.

2024-016

DRAWING NAME:

GENERAL NOTES

SCALE:

3/16" = 1'-0"

DATE:

OCT 10, 2024

Sheet #

A2

LIVING



KITCHEN

**Lockwood Brothers
CONSTRUCTION**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code.

Qualification Information

JOHN SPYK 41174
NAME SIGNATURE BCIN

LOCKWOOD BROTHERS CONSTRUCTION 38088
FIRM BCIN

CUSTOMER: MCNICKLE	DRAWING NO. 2024-016
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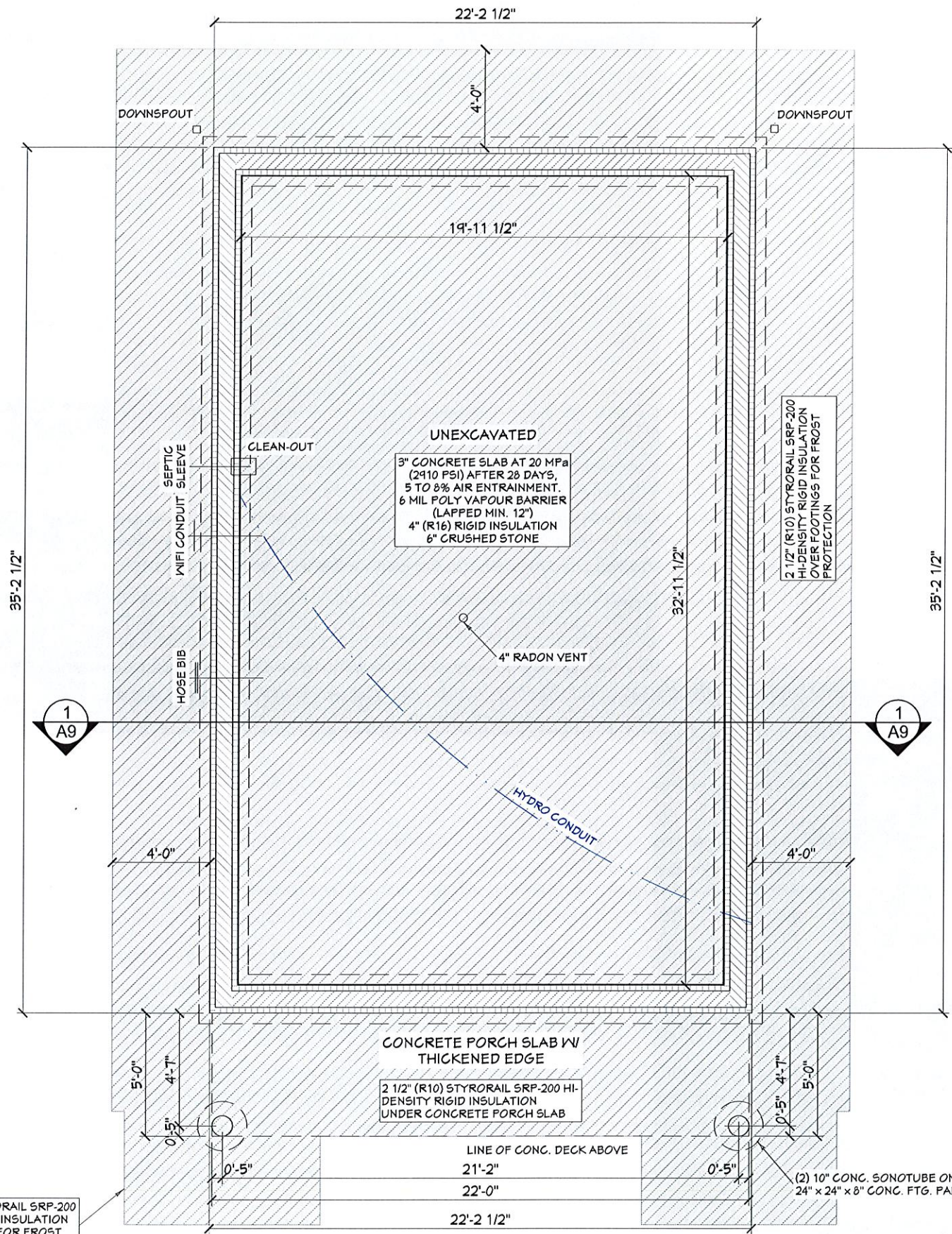
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SCALE: 3/16" = 1'-0"	Sheet # A3
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DATE: OCT 10, 2024

ALL OUTSIDE
DIMENSIONS
ARE FROM CONCRETE

8" ICF FOUN. WALL



FOUNDATION PLAN

Lockwood Brothers
CONSTRUCTION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code.

Qualification Information

JOHN SPYK 41119
NAME SIGNATURE BCIN

LOCKWOOD BROTHERS CONSTRUCTION 35088
FIRM BCIN

CUSTOMER: MCNICKLE DRAWING NO. 2024-016

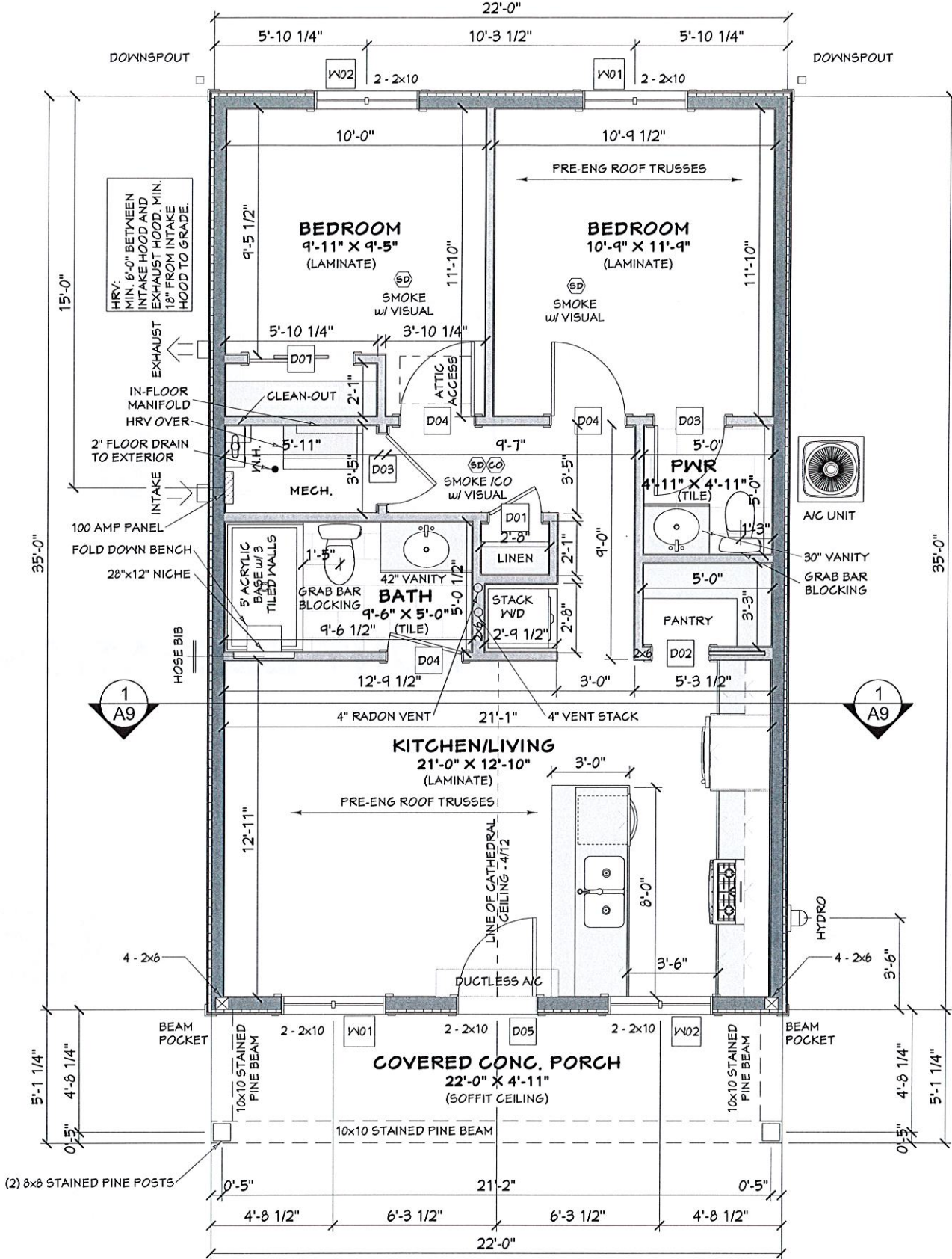
DRAWING NAME: FOUNDATION PLAN

SCALE: 3/16" = 1'-0" Sheet #

DATE: OCT 10, 2024 A4

ALL OUTSIDE
DIMENSIONS
ARE FROM FRAMING

ALL INTERIOR
DIMENSIONS
ARE FROM FRAMING



WINDOW SCHEDULE								
NUMBER	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	AREA, ACTUAL (SQ FT)
W01	2	1	4036	48"	42"	49"X43"	DOUBLE CASEMENT-LHL	14
W02	2	1	4036	48"	42"	49"X43"	DOUBLE CASEMENT-RHR	14
TOTALS:								56

DOOR SCHEDULE							
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D07	1	1	48"	80"	50 1/2"X84 1/2"	SLIDER-DOOR P05	26.67
TOTALS:							166.67

GROUND FLOOR PLAN - 770 SQ.FT.

Lockwood Brothers
CONSTRUCTION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code.

Qualification Information

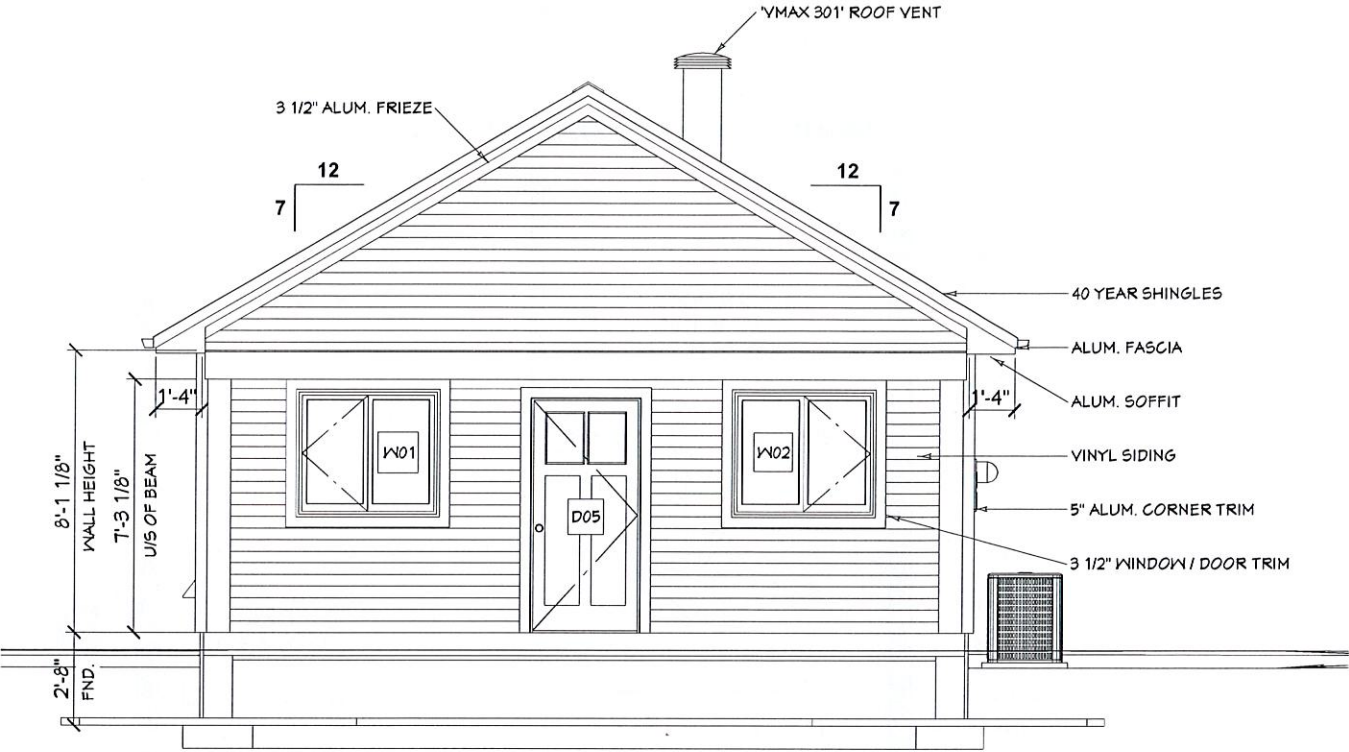
JOHN SPYK		47114
NAME	SIGNATURE	BCIN
LOCKWOOD BROTHERS CONSTRUCTION		38088
FIRM		BCIN

CUSTOMER:	DRAWING NO.
MCNICKLE	2024-016

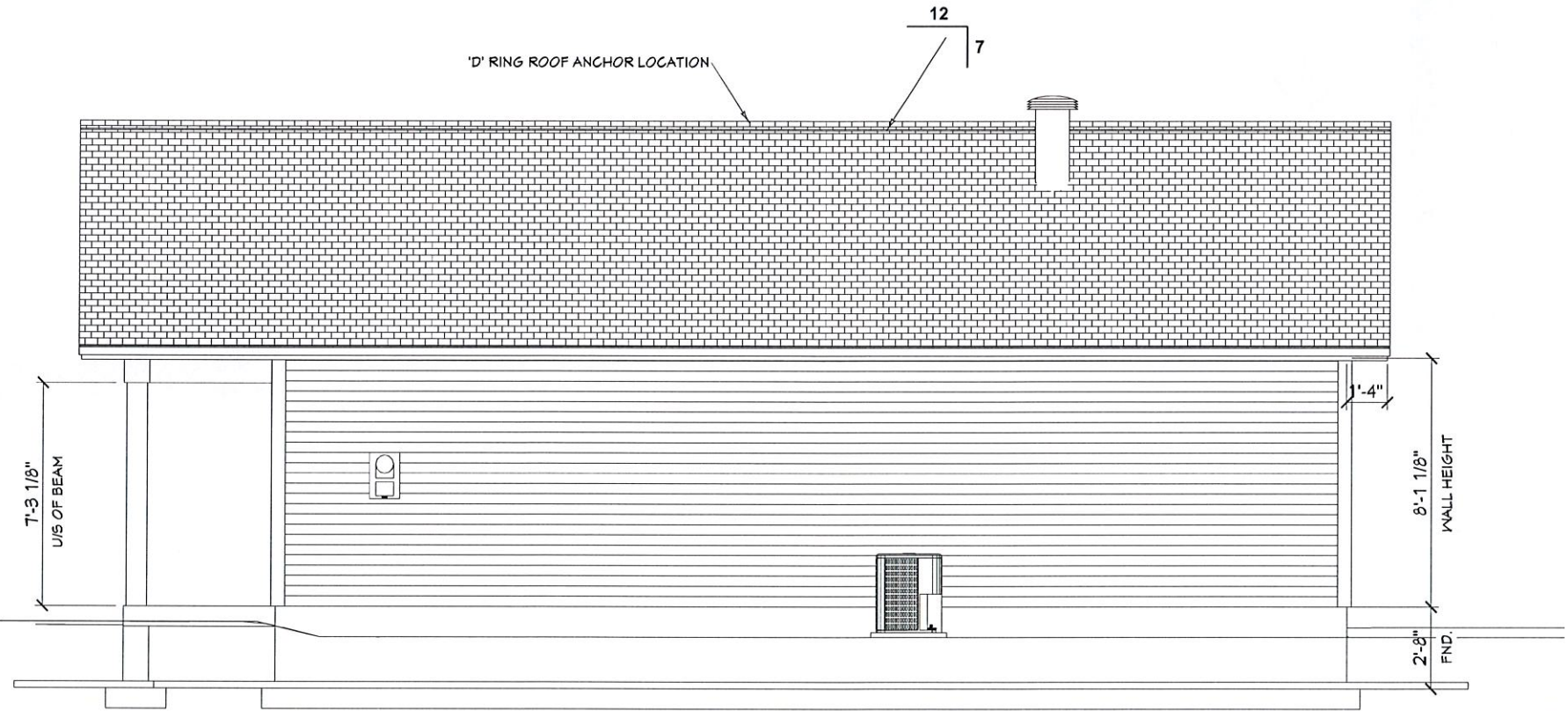
DRAWING NAME:
GROUND FLOOR PLAN

SCALE:	Sheet #
3/16" = 1'-0"	A5

DATE:	
OCT 10, 2024	

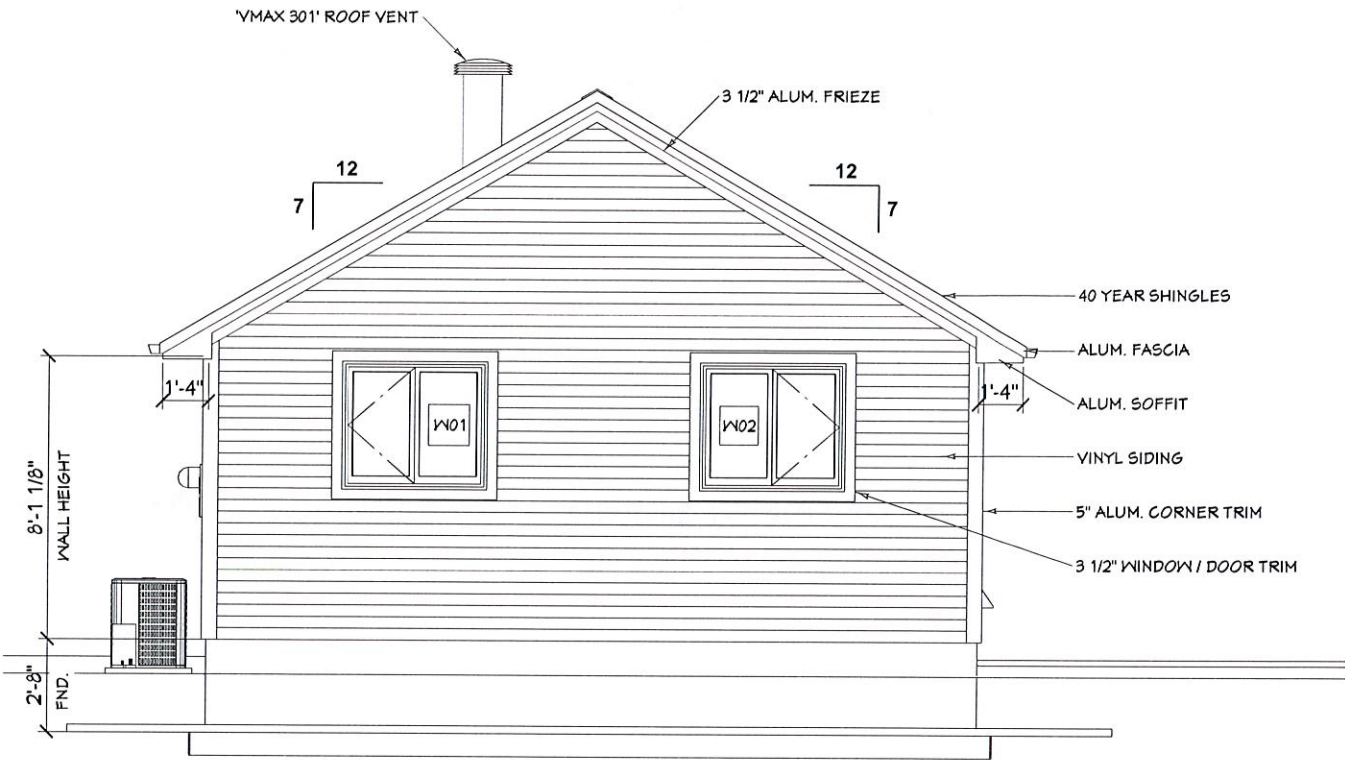


FRONT ELEVATION

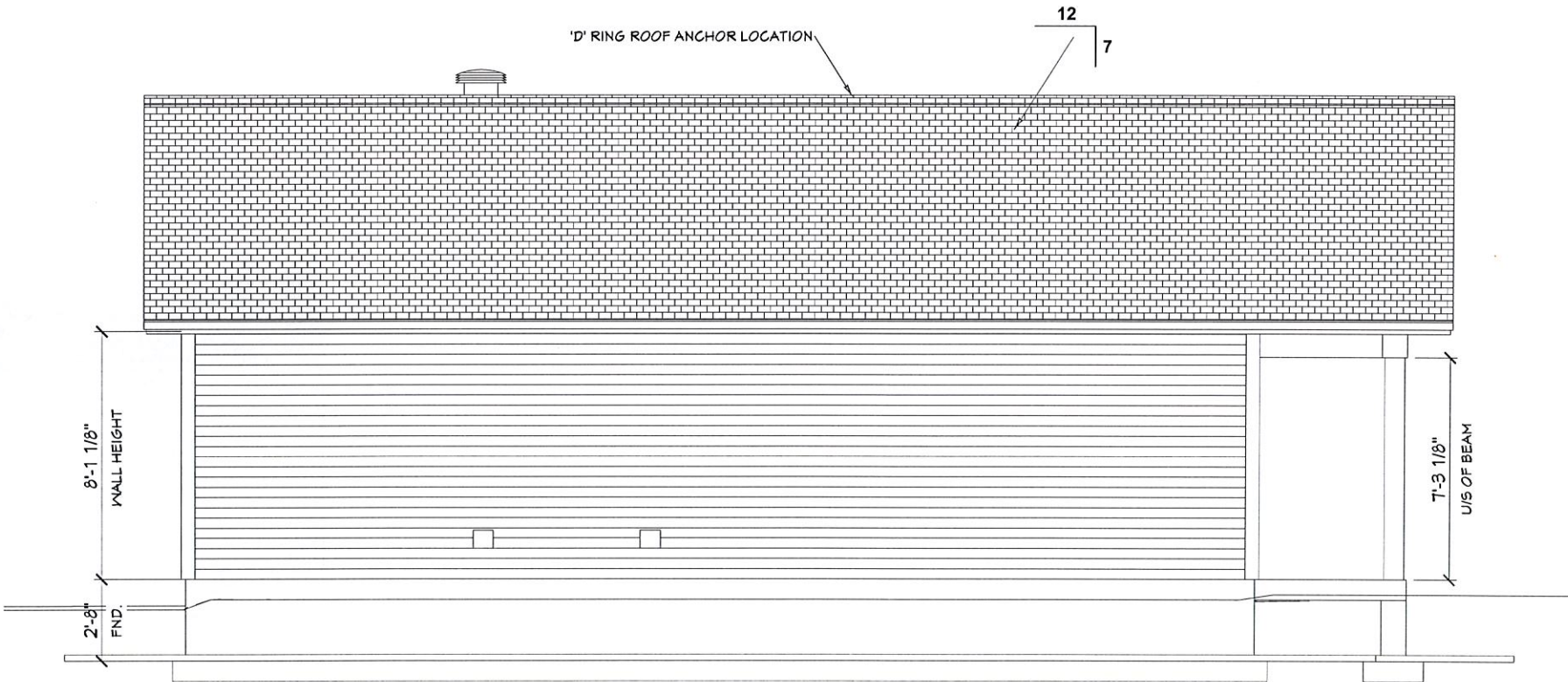


RIGHT ELEVATION

Lockwood Brothers CONSTRUCTION	
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code.	
Qualification Information	
JOHN SPYK NAME	41179 BCIN
SIGNATURE	
LOCKWOOD BROTHERS CONSTRUCTION FIRM	38088 BCIN
CUSTOMER:	DRAWING NO.
MCNICKLE	2024-016
DRAWING NAME:	
ELEVATIONS	
SCALE:	Sheet #
3/16" = 1'-0"	A6
DATE:	
OCT 10, 2024	

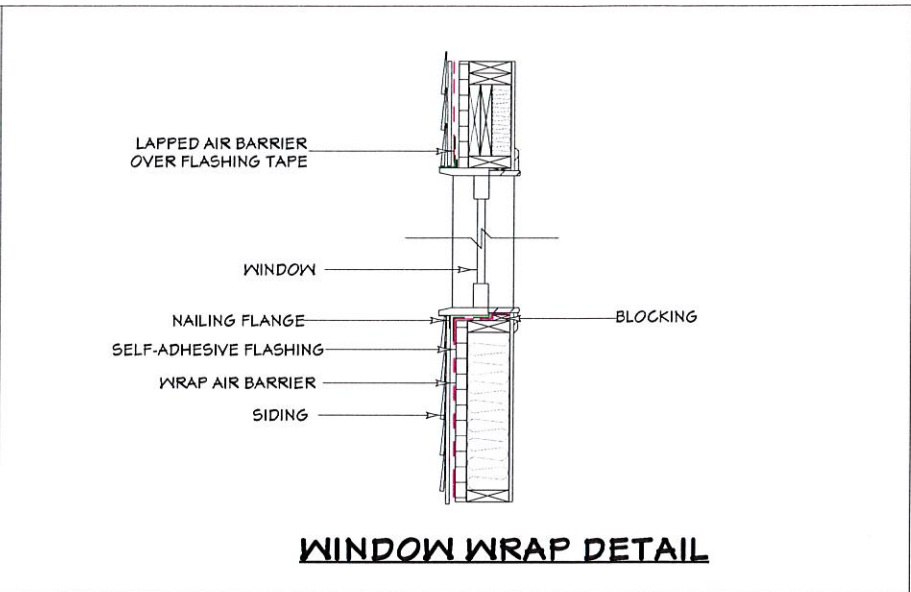
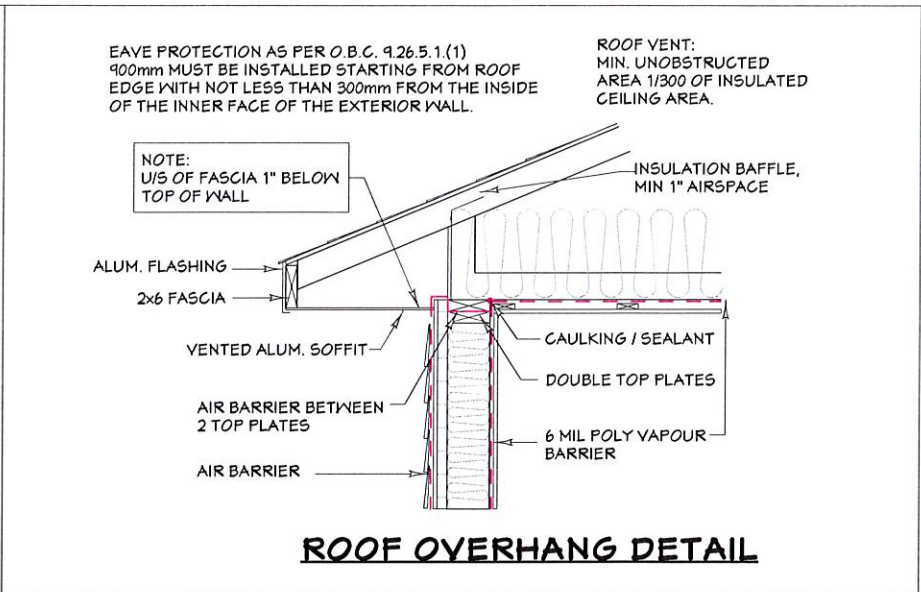
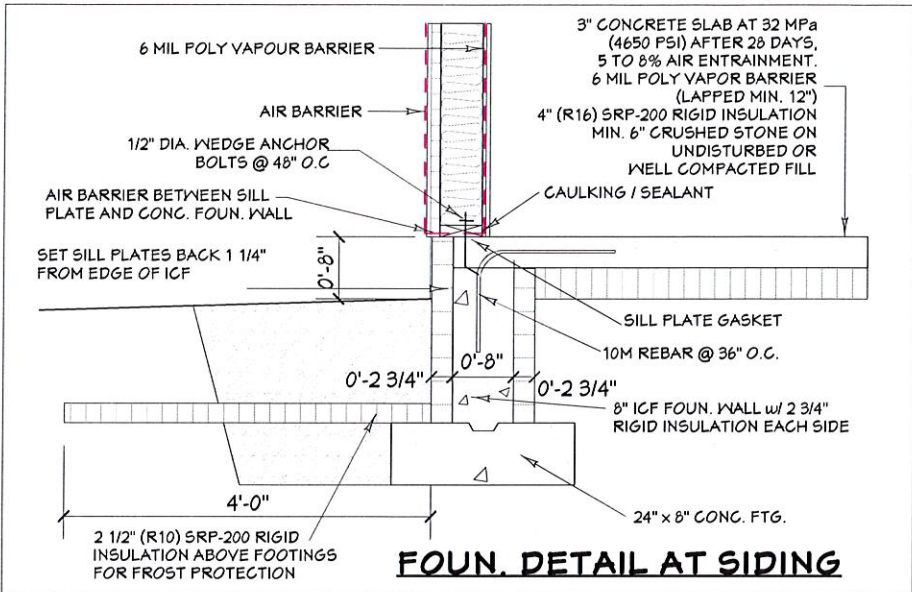


REAR ELEVATION



LEFT ELEVATION

Lockwood Brothers CONSTRUCTION	
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code.	
Qualification Information	
JOHN SPYK NAME	SIGNATURE <i>John Spyk</i> 41174 BCIN
LOCKWOOD BROTHERS CONSTRUCTION FIRM	30055 BCIN
CUSTOMER: MCNICKLE	DRAWING NO. 2024-016
DRAWING NAME: ELEVATIONS	
SCALE: 3/16" = 1'-0"	Sheet # A7
DATE: OCT 10, 2024	



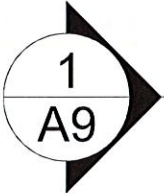
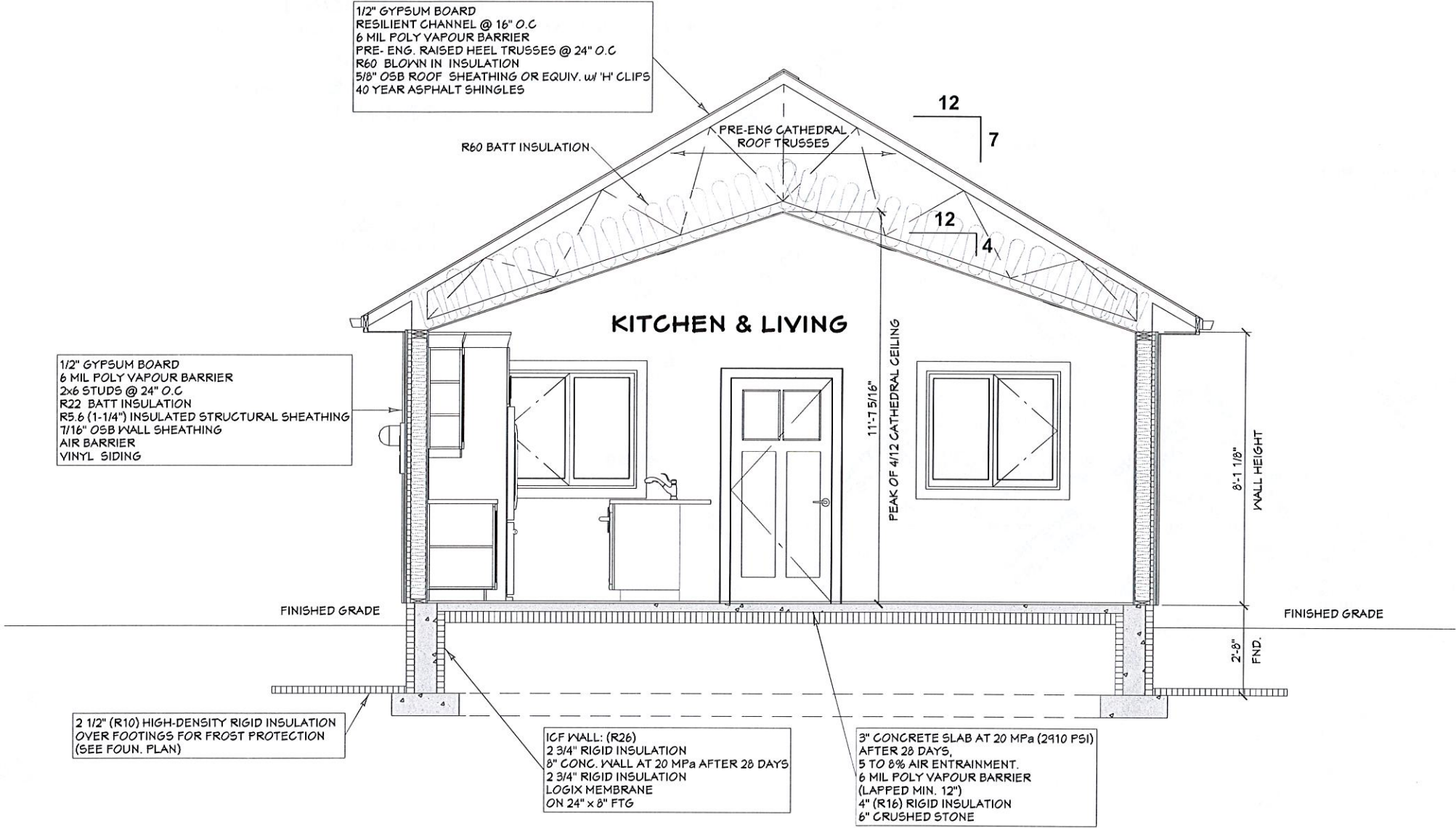
Lockwood Brothers
CONSTRUCTION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code.

Qualification Information

JOHN SPYK		41114
NAME	SIGNATURE	BCIN
LOCKWOOD BROTHERS CONSTRUCTION		38088
FIRM		BCIN

CUSTOMER:	DRAWING NO.
MCNICKLE	2024-016
DRAWING NAME: DETAILS	
SCALE:	Sheet #
DATE: OCT 10, 2024	A8



BUILDING SECTION
SCALE: 1/4" = 1'-0"

Lockwood Brothers
CONSTRUCTION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code.

Qualification Information

JOHN SPYK		41174
NAME	SIGNATURE	BCIN
LOCKWOOD BROTHERS CONSTRUCTION		38088
FIRM		BCIN

CUSTOMER:	DRAWING NO.
MCNICKLE	2024-016
DRAWING NAME:	
BUILDING SECTION	
SCALE:	Sheet #
	A9
DATE:	
OCT 10, 2024	

Township of Edwardsburgh Cardinal

Report to the Committee of Adjustment

Public Meeting Date: March 4, 2025

Application for Minor Variance A-01-25

Property Location: 2 Tuttle Point

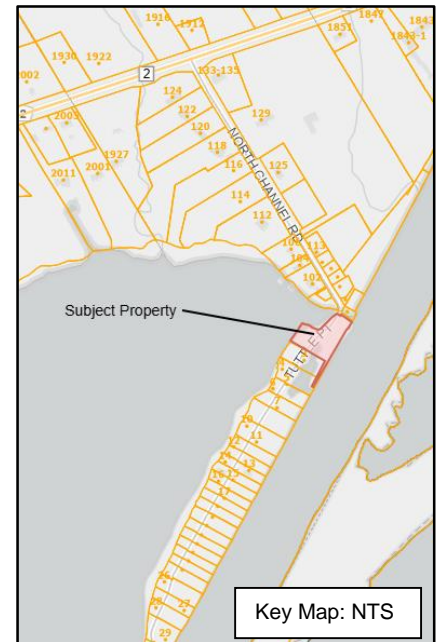
Property Description: Concession 1, Part Lot 19

Roll Number: 070170101511702

Owner: Jeff and Theresa Byrd

Agent: Lockwood Brothers Construction

Purpose and effect: The purpose and effect of minor variance application A-01-25 for the property municipally known as 2 Tuttle Point, is to obtain relief from the provisions of Zoning By-Law Number 2022-37. The applicant is requesting variances to recognize the location of a proposed 2 storey, single family dwelling with an attached garage, rear porch and concrete patio and sewage disposal system.



Requested Variances:

1. Section 12.1.2, A reduction of the minimum interior side yard setback requirement in the Rural (RU) zone from 6 metres to 4.3 metres from the southwest lot line to the proposed dwelling.
2. Section 3.27.2, A reduction in the minimum water setback from 30 metres for each of the following:
 - a. Sewage Disposal System – 15.9 metres;
 - b. Principle Dwelling and Attached Garage – 12.8 metres; and
 - c. Porch and Concrete Patio – 9.6 metres.

Site Characteristics: The subject property is a 0.39 hectare parcel of undeveloped land with road frontage on a private lane (Tuttle Point) and water frontage on the St. Lawrence River to the north and North Channel to the south.

The subject property is one of 39 properties that make up Tuttle Point. Access to the properties is by way of a private lane which is established through shared easements over each property. The private lane has road access from the southern end of North Channel Road.

The site is in the rural area of the Township and is surrounded by single-detached dwellings to the north and south, St. Lawrence River to the north and North Channel to the south.

Current Policy and By-Law: The subject property is designated Rural in the County of Leeds and Grenville Official Plan and Rural Policy area in the Township of Edwardsburgh Cardinal Official Plan.

The property is zoned Rural (RU) in the Township of Edwardsburgh Cardinal Zoning By-Law Number 2022-37.

Provincial Planning Statement: Subsection 3(5) of the Planning Act requires that a decision in respect of the exercise of any authority that affects a planning matter shall be consistent with the Provincial Planning Statement (the PPS). The PPS provides policy direction on matters of provincial interest related to land use planning and development which are complemented by local policies addressing local interests. The application being considered is site specific to accommodate a specific proposal and does not involve any major policy considerations and as such, the proposal conforms to and is consistent with the PPS.

Applying the four tests of a minor variance: Section 7.7.3 of the Township's Official Plan, provides policies pertaining to the Committee of Adjustment stating that where existing or proposed uses that conform to the use provisions of the Zoning By-law implementing this Plan are non-complying with respect to performance standards, the Committee of Adjustment may authorize minor variances from the provisions of the implementing Zoning By-law provided that the general intent and purpose of the Official Plan and Zoning By-law are maintained and that the variances are minor and desirable for the appropriate development of the lands. The Township may, by by-law, establish additional criteria to be considered by the Committee of Adjustment in the review of minor variance applications.

The review of an application for minor variance is not a simple mathematical calculation, but rather a detailed assessment of whether the variance or variances requested, both separately and together, meet the four tests of a minor variance outlined in Subsection 45(1) of the Planning Act. The following provides this review:

1. Does the application maintain the general intent and purpose of the Official Plan?

The subject property is designated as Rural Policy Area in the Township of Edwardsburgh Official Plan and subject to the policies of Section 3.4. The goal of this policy is to provide for the long-term orderly development of the rural lands in a manner which is consistent with ensuring the protection of natural and environmental resources, while providing opportunities for a modest amount of compatible development and a diversified rural economy.

The proposed single detached dwelling on private services is a permitted use in the Rural Policy Area, however, consideration shall be given to the criteria set out in the Development Criteria section and Development Adjacent to Water Bodies of the Plan.

The Development Criteria policies and Land Use Compatibility policies of this plan will be addressed under heading number 4, Is the application desirable for the appropriate development or use of the land, building or structure below.

The subject property has water frontage on the St. Lawrence River and North Channel and are subject to Section 6.18, Development Adjacent to Water Bodies of the Official Plan. An adequate water setback serves as an important function in relation to the protection of the natural and cultural heritage characteristics and water quality of the lakes and rivers of the Township. The intent of the water setback is to prevent the disturbance of the shoreline area as a result of the placement of building and structures, including septic systems, or the removal of the soil mantle and natural vegetation. The Township has a direct interest in managing surface water impacts related to water-oriented development

Development or site alteration may be permitted less than 30 metres from a water body in situations where existing lots or existing developments preclude the reasonable possibility of achieving the setback. In such cases, proponents will be required to achieve the greatest possible/feasible setback for all development and site alteration, including septic systems, given existing site constraints such as lot size, lot shape and terrain. Any proposal for development or site alteration proposed

to occur less than 30 metres from a water body shall be subject to the policies Environmental Impact Assessments sections of the Official Plan.

The applicant consulted the Township and the South Nation Conservation Authority (SNCA) regarding water setbacks and highwater marks. SNCA and Township staff confirmed that an Environmental Impact Assessment would not be required as a result of the water frontage along the North Channel on the subject property and abutting lands have been altered and concrete walls or retaining walls constructed. The shoreline on the north side of the lane is in a natural state and there is no proposed development in those lands.

As a condition of approval, that prior to the issuance of a building permit, the owner shall enter into a development agreement with the Township to ensure a 5 metre buffer to the St. Lawrence River waterfront, be maintained in its natural state and suggest that additional native vegetation or trees be planted to protect and enhance its natural state.

SNCA staff clarified that the water setback shall be taken from the waters edge. The applicant provided a site plan drawing illustrating the waters edge, 1:100-year floodplain line (green line), the 5-metre wave up rush (red line), and the dwelling and sewage disposal system setbacks from the water's edge. SNCA staff have no objections to the reduced setback from the waters edge, as per the approved site plan attached to the notice of decision.

The proposal is site specific, and development will be located outside of the 1:100-year floodplain therefore the requested variances meet the general intent and purpose of the Official Plan.

2. Does the application maintain the general intent and purpose of the zoning bylaw?

The subject property is zoned Rural (RU) in the Township of Edwardsburgh Cardinal Zoning By-Law Number 2022-37. The proposed detached single-family dwelling on private services is a permitted use in the RU zone. Any new development which includes a sewage disposal system, shall comply with the provisions of the zoning by-law.

The proposed development requires relief from the minimum interior side yard requirement and the water setback to recognize the location of the single-family dwelling and sewage disposal system. The development complies with all other provisions of the RU zone.

The intent of the minimum interior side yard setback requirement is to ensure adequate spatial separation between buildings on adjacent lots and no negative impacts on drainage. The proposed reduced setback provides sufficient space to accommodate drainage and is not anticipated to have negative impacts on the abutting landowner and their continued enjoyment of their property to the south.

The intent of the minimum water setback requirement is to prevent the disturbance of the shoreline area as a result of the placement of building and structures, including septic systems, or the removal of the soil mantle and natural vegetation. The Township has a direct interest in managing surface water impacts related to water-oriented development. The applicant has demonstrated that the proposed development will be located outside of the 1:100-year floodplain and that no new development is proposed within the floodplain. The existing gazebo, concrete pad and shed

The proposal is site specific, and the requested variances meet the general intent of the Zoning By-Law.

3. Is the application minor in nature?

The subject property is an existing undersized non-complying lot and is subject to Section 3.2 of the Zoning By-Law, as amended.

Where, on the date of passing of the Zoning By-Law, an existing lot has less than the minimum lot frontage, water frontage and/or lot area required by this By-law, or is increased in lot frontage, water frontage and/or lot area but is still undersized, such non-complying lot may be used and a building or structure may be erected, altered or used for a purpose permitted in the zone in which it is located on the date of the passing of this By-law without the requirement to obtain relief from the applicable lot frontage, water frontage and/or lot area provisions of this By-law.

This provision shall not be construed as granting relief from any other provisions of this By-law and the requirement to demonstrate adequate servicing can be provided for the use as required by Section 3.24.

The applicant has provided a proposal and supporting information that a single-family dwelling on private onsite services can be located outside of the 1:100-year flood plain and wave up rush to the satisfaction of the South Nation Conservation Authority and Township staff, and there would be no negative impacts on adjacent properties.

The requested variances are therefore considered minor in nature.

4. Is the application desirable for the appropriate development or use of the land, building or structure?

The requested variances will utilize an existing undersized lot in the Township. The development will have safe road access through a shared private lane shared between 39 properties on Tuttle Point. The development will not interfere with the continued use of the private lane or impede traffic. The owner/applicant shall not block or impede the use of the private lane during the building process.

The proposed development is outside of the 1:100-year floodplain and 5-metre wave uprush and is not anticipated to have any negative effects on the abutting residential uses or watercourse. No new development is proposed along the waters edge. As a condition of approval, that prior to the issuance of a building permit, the owner/applicant shall apply, pay and obtain a Development Permit from the South Nation Conservation Authority.

The development will be serviced with private onsite services. The sewage disposal system will be located outside of the floodplain.

The lands north of the private lane shall be maintained in its natural state. A development agreement will be registered on title which will address any warning clauses and their obligations.

The variances are site specific and are only applied to the location of the proposed development as per the approved site plan attached to the notice of decision and is therefore considered to be desirable for and appropriate for development for an existing undersized non-complying lot.

Technical Comments: The application was circulated to internal and external departments. There were no written comments or objections received by staff at the time of preparing this report.

Notification: Pursuant to the requirements of the *Planning Act*, notice of the statutory public meeting was provided 10 days in advance of the public meeting.

A total of 15 property owners who fell within the required 60 metre notification radius of the subject property, were notified by regular mail, which was dated February 21, 2025. Property ownership was derived from the latest MPAC assessment prior to the date of mailing.

Additional notice in the form of signage was posted along the frontage of the subject property. Notice was also posted on the Townships website.

Public Comments: There were no written comments or objections received by staff at the time of preparing this report.

Financial Considerations: The applicant has submitted the required fee to the Township for the minor variance, in accordance with the Planning Fees Bylaw 2022-40.

Attached Drawings and Supporting Documents:

- a) Site Plan Drawing; and
- b) Floor Plan and Elevation Drawings.

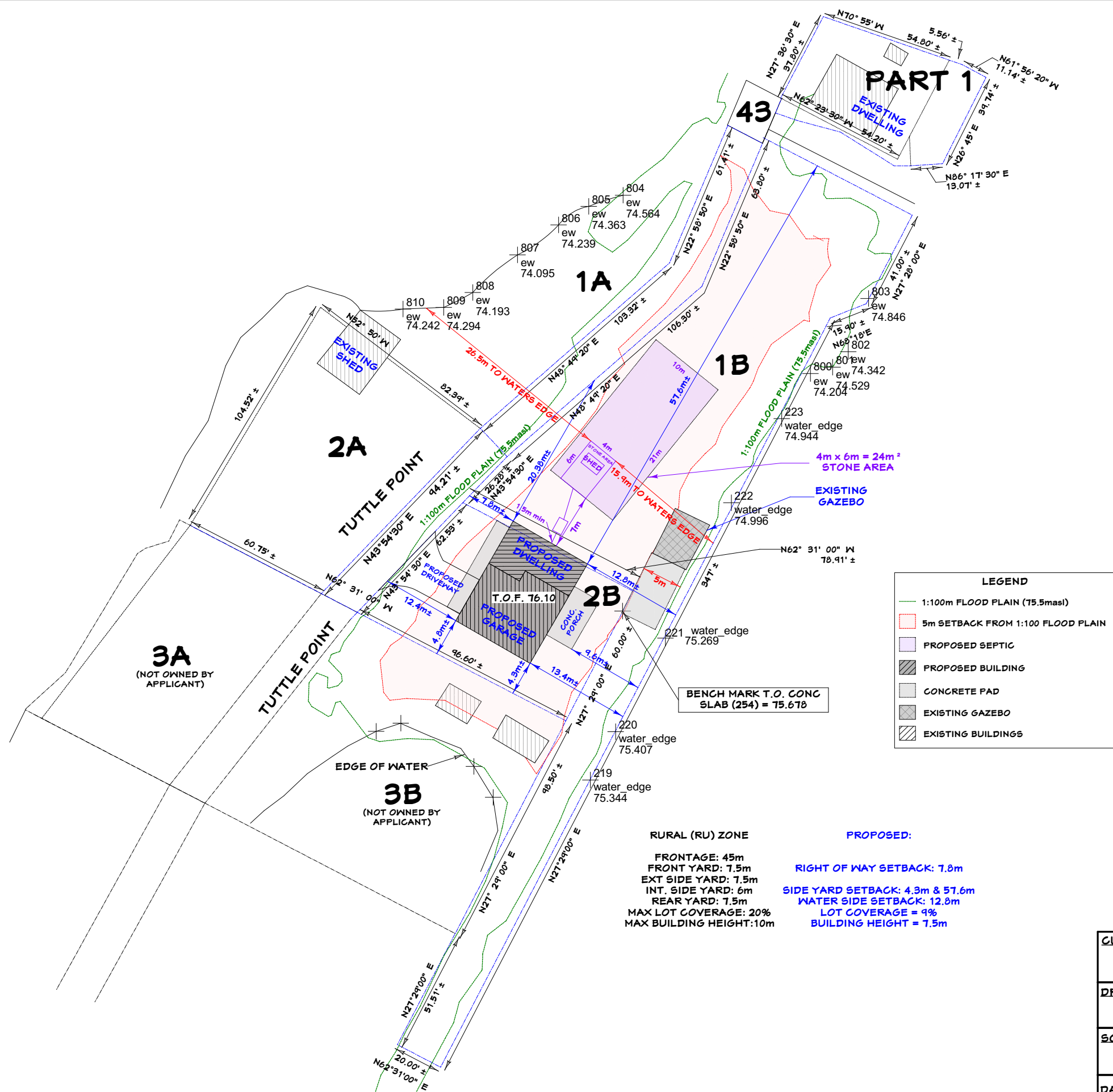
Recommendation: That the Committee of Adjustment approve minor variance application A-01-25 to reduce the minimum interior side yard setback requirement and water setback, subject to the following conditions:

1. That the approved variances apply only to the location of the structures as per the approved site plan attached to the Notice of Decision, and not to the entire property.
2. That the owner obtains a Development Permit from the South Nation Conservation Authority prior to the issuance of a building permit;
3. That the owner obtains a building permit from the Township prior to construction; and
4. That the owner enters into a Development Agreement with Township, prior to the issuance of a building permit.



Tim Fisher
Municipal Land Use Planner

TUTTLE POINT
JOHNSTOWN, ON
PART WEST HALF OF LOT 14
CONCESSION 1
TOWNSHIP OF EDWARDSBURG
COUNTY OF GRENVILLE



CUSTOMER:	DRAWING NO.
BYRD	2024-019
DRAWING NAME:	SITE PLAN
SCALE:	Sheet #
DATE:	A11
NOV 18, 2024	



Please note that renderings are for illustration purposes only and may not reflect exact choices & inclusions in project contract.

CUSTOMER:	DRAWING NO.
BYRD	2024-019
DRAWING NAME:	
SCALE:	Sheet #
1/8" = 1'-0"	A1
DATE:	
NOV 18, 2024	

OWNER & BUILDER'S NOTE

THESE PLANS SHALL NOT BE USED FOR CONSTRUCTION UNTIL STAMPED AND SIGNED BY A QUALIFIED DESIGNER & THE LOCAL BUILDING DEPARTMENT. THE BUILDER IS EXPECTED TO FOLLOW THESE PLANS, APPLICABLE BUILDING CODES AND LOCAL ORDINANCES. HE SHALL VERIFY THAT SIT CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING CONSTRUCTION. WHILE THESE PLANS ARE DRAWN TO SHOW THE PROPOSED WORK AS ACCURATELY AS POSSIBLE, SCHEMATIC DETAILS MAY BE USED IN SOME CASES FOR CLARITY. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES.

THE DESIGNER ASSUMES NO RESPONSIBILITY FOR SCHEDULING, FABRICATION, CONSTRUCTION TECHNIQUES OR MATERIALS, OR QUANTITIES USED IN THE WORK. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR FIELD CHANGES, SITE VARIANCES OR DISCREPANCIES NOT BROUGHT TO HIS/HER ATTENTION FOR CLARIFICATION

THE INFORMATION SHOWN ON THIS

SITE PLAN WAS PROVIDED BY THE

OWNER. FIELD SURVEY OR

VERIFICATION WAS NOT MADE.

OWNER:

PROJECT ADDRESS:

JURISDICTION:

ZONING:

APN:

SITE AREA:

PERMIT #:

SOIL PARAMETERS:

BASED ON SOILS INDIGENOUS TO THE AREA:
BEARING PRESSURE - 1600 PSF
LATERAL ACTIVE PRESSURE 35 PSF
FLUID EQUIVALENT
SOIL-CONCRETE COEFFICIENT 0.35
SOIL PROFILE SD

GENERAL NOTES

ALL WORK SHALL BE DONE IN ACCORDANCE WITH 2012 ONTARIO BUILDING CODE AND LOCAL CODES.

FOUNDATION AND TRUSS DESIGN SHALL BE VERIFIED BY A QUALIFIED ENGINEER FOR COMPLIANCE WITH SITE REQUIREMENTS.

DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER THE SCALING OF DRAWINGS.

WALL DIMENSIONS ARE TO THE EXTERIOR OF FRAMING UNLESS NOTED OTHERWISE.

LUMBER COMING IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED OR PROTECTED WITH AN APPROVED VAPOR BARRIER.

CONTINUOUS CONTACT WITH THE GROUND SHALL BE TREATED TO A MINIMUM OF .60 CCA.

ALL FRAMING LUMBER TO BE #2 OR BETTER DF OR EQUIVALENT, UNLESS NOTED OTHERWISE.

EXTERIOR AND INTERIOR MATERIALS AND FINISHES TO BE DETERMINED BY OWNER.

ALL REQUIRED SMOKE ALARMS NEED A VISUAL COMPONENT.

BLOCKING FOR NON-LOAD BEARING INTERIOR WALLS PARALLEL TO FLOOR JOISTS SHALL BE MIN. 2x4 @ 4'-0" O.C.

BUILDING PERFORMANCE

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS.

PORCHES AND GARAGE AREAS NOT INCLUDED IN LIVING AREA.

ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR.

ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH POLYURETHANE FOAM.

ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR.

FURNACE FIREBOX SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES.

ATTIC ACCESS SHALL BE:

A MINIMUM OF 22" X 36". THERE SHALL BE 30" MIN. CLEARANCE AT OR ABOVE THE OPENING.

LOCATED IN A CORRIDOR, HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. ATTICS WITH A MAXIMUM VERTICAL HEIGHT OF LESS THAN 30" WILL NOT REQUIRE ACCESS OPENINGS

HATCHWAYS TO ATTIC OR ROOF SPACES SHALL BE FITTED WITH DOORS OR COVERS

VENTILATION:

WHERE INSULATION IS INSTALLED BETWEEN A CEILING AND THE UNDERSIDE OF THE ROOF SHEATHING, A SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE SHEATHING, AND VENTS SHALL BE INSTALLED TO PERMIT THE MOVEMENT OF AIR FROM THE SPACE TO THE EXTERIOR.

ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 150 SQ. FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

UNDER FLOOR SPACES SHALL HAVE VENTILATION EQUAL TO ONE SQ. FOOT PER 150 SQ. FEET OF FLOOR SPACE. VENTS SHALL BE CAST INTO THE CONCRETE STEM WALLS AND COVERED WITH GALVANIZED WIRE SCREEN. VENTS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

RAILING NOTES:

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 35" MEASURED BETWEEN WALL FACES OR GUARDS.

TREADS SHALL HAVE A MIN. TREAD OF 11" AND MIN. RUN OF 10". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 1/4".

STAIRWAYS SHALL HAVE MIN. 6'-5" OF HEADROOM AT THE NOSE OF THE STAIR.

STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.

HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.

STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.

36" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS MORE THAN 24" BELOW.

RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".

THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH.

MIN. 77" HEADROOM HEIGHT OVER LANDINGS AS PER O.B.C. 9.8.6.4.(1)

DOORS

DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 20 MINUTES. DOOR SHALL BE SELF CLOSING.

MAIN ENTRANCE DOORS TO DWELLING UNITS SHALL BE PROVIDED WITH, A DOOR VIEWER OR TRANSPARENT GLAZING IN THE DOOR, OR A SIDELIGHT

INTERIOR DOORS TO BE PRE-PRIMED MDF. STYLE AND FINISH BY OWNER.

GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS, MATERIALS AND FINISH TO BE DETERMINED BY OWNER.

DOOR SCHEDULE									
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION	AREA, ACTUAL (SQ FT)	COMMENTS	
D01	2	1	30"	80"	32 1/2"x83 1/2"	HINGED-3 PANEL	16.67		
D02	1	1	142"	46"	145"x48"	GARAGE-GARAGE DOOR P03	128		
D03	1	1	30"	54"	32 1/2"x57 1/2"	HINGED-3 PANEL	11.25		
D04	1	1	32"	80"	34 1/2"x83 1/2"	HINGED-3 PANEL	17.78		
D05	1	1	74"	44 1/8"	75"x45 1/8"	MULLED UNIT-HL	48.37		
D06	1	1	36"	80"	38 1/2"x83 1/2"	DOUBLE HINGED-3 PANEL	20		
D07	2	1	36"	80"	38 1/2"x83 1/2"	HINGED-3 PANEL	20		
D08	1	1	46"	45 1/2"	49"x44 1/4"	EXT. SLIDER-GLASS PANEL	63.67		
D09	1	2	26"	80"	28 1/2"x83 1/2"	HINGED-3 PANEL	14.44		
D10	1	2	28"	80"	30 1/2"x83 1/2"	HINGED-3 PANEL	15.56		
D11	2	2	30"	80"	32 1/2"x83 1/2"	HINGED-3 PANEL	16.67		
D12	1	2	36"	31 4/16"	38 1/2"x35 1/16"	HINGED-3 PANEL	7.4		
D13	3	2	36"	80"	38 1/2"x83 1/2"	HINGED-3 PANEL	20		
D14	4	2	40"	80"	42 1/2"x83 1/2"	DOUBLE HINGED-3 PANEL	22.22		
D15	1	2	46"	80"	44"x83 3/4"	EXT. SLIDER-GLASS PANEL	53.33		
TOTALS:							635.86		

WINDOW SCHEDULE									
NUMBER	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	AREA, ACTUAL (SQ FT)	COMMENTS
W01	1	2	4018	48"	20"	49"x21"	FIXED GLASS	6.67	
W02	2	1	8060	46"	72"	47"x73"	TRIPLE CASEMENT-LHL/RHR	48	
W03	1	2	3030	36"	36"	37"x37"	SINGLE CASEMENT-HL	4	
W04	1	2	2850	32"	60"	33"x61"	SINGLE CASEMENT-HL	13.33	
W05	1	2	2850	32"	60"	33"x61"	SINGLE CASEMENT-HR	13.33	
W06	1	2	6050	72"	60"	73"x61"	DOUBLE CASEMENT-LHL	30	
W07	1	2	6050	72"	60"	73"x61"	DOUBLE CASEMENT-RHR	30	
W08	1	2	80311	46"	46 3/4"	47"x47 3/4"	TRIPLE CASEMENT-LHL/RHR	31.17	
W09	2	2	8050	46"	60"	47"x61"	TRIPLE CASEMENT-LHL/RHR	40	
TOTALS:								304.5	

NOTES:
DOUBLE PANE WINDOWS / DOORS
GRIDS AS PER ELEVATIONS

REVISIONS		DATE
1. SITE PLAN UPDATED & WINDOWS CORRECTED		DEC 04
2. UPDATED SITE PLAN		DEC 05
3.		
4.		
5.		
6.		
7.		
8.		
9.		
10.		
		<div>CUSTOMER: BYRD</div> <div>DRAWING NO. 2024-019</div> <div>DRAWING NAME: GENERAL NOTES</div> <div>SCALE: 1/8" = 1'-0"</div> <div>DATE: NOV 18, 2024</div> <div>Sheet # A2</div>




STAIRS


LIVING

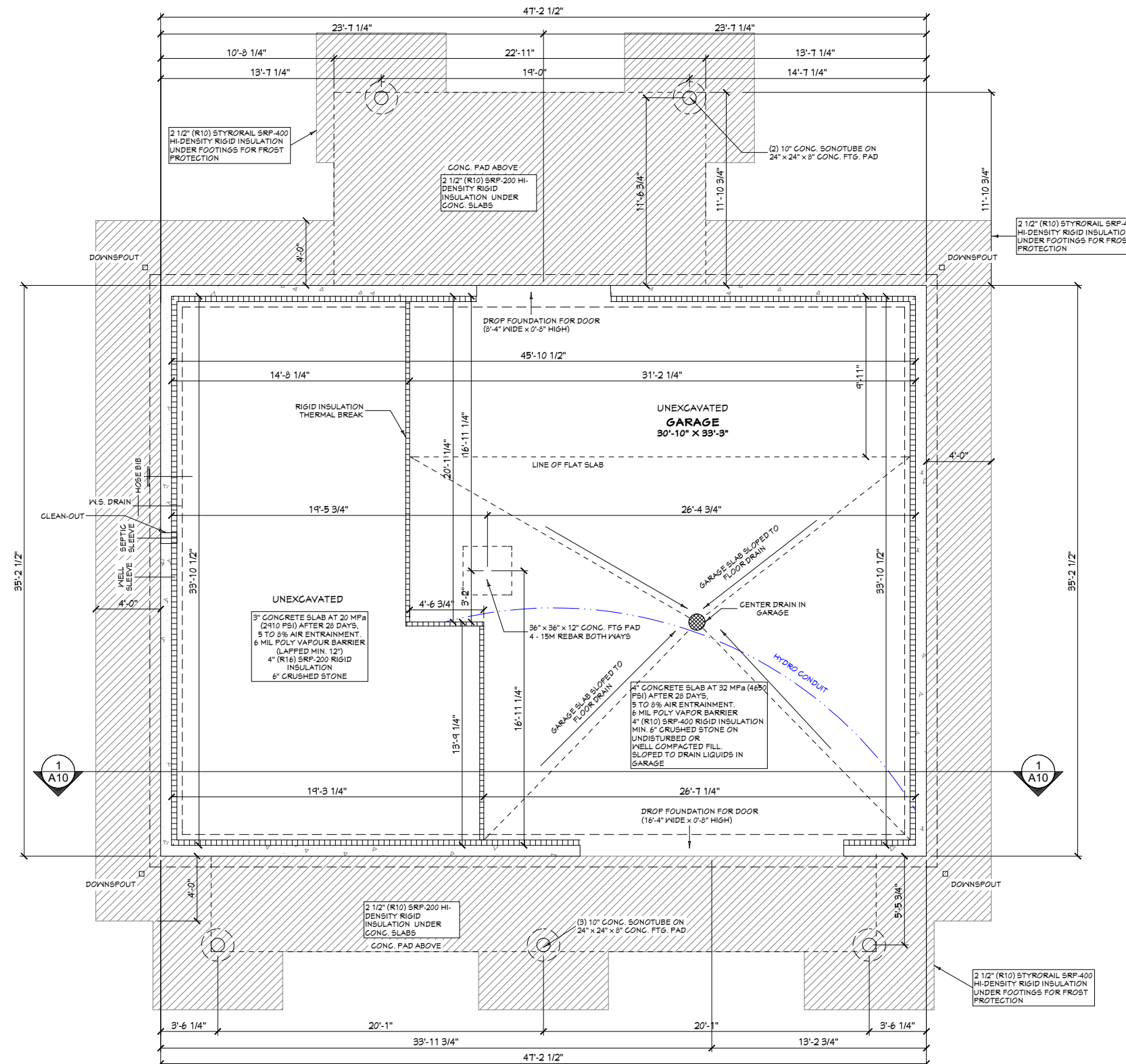


KITCHEN/DINING

CUSTOMER:	DRAWING NO.
BYRD	2024-019
DRAWING NAME:	
SCALE:	Sheet #
1/8" = 1'-0"	A3
DATE:	
NOV 18, 2024	


 4" CONC. FOUN. WALL


 8" CONC. FOUN. WALL
 W/ 2 1/2" STYROFOAM

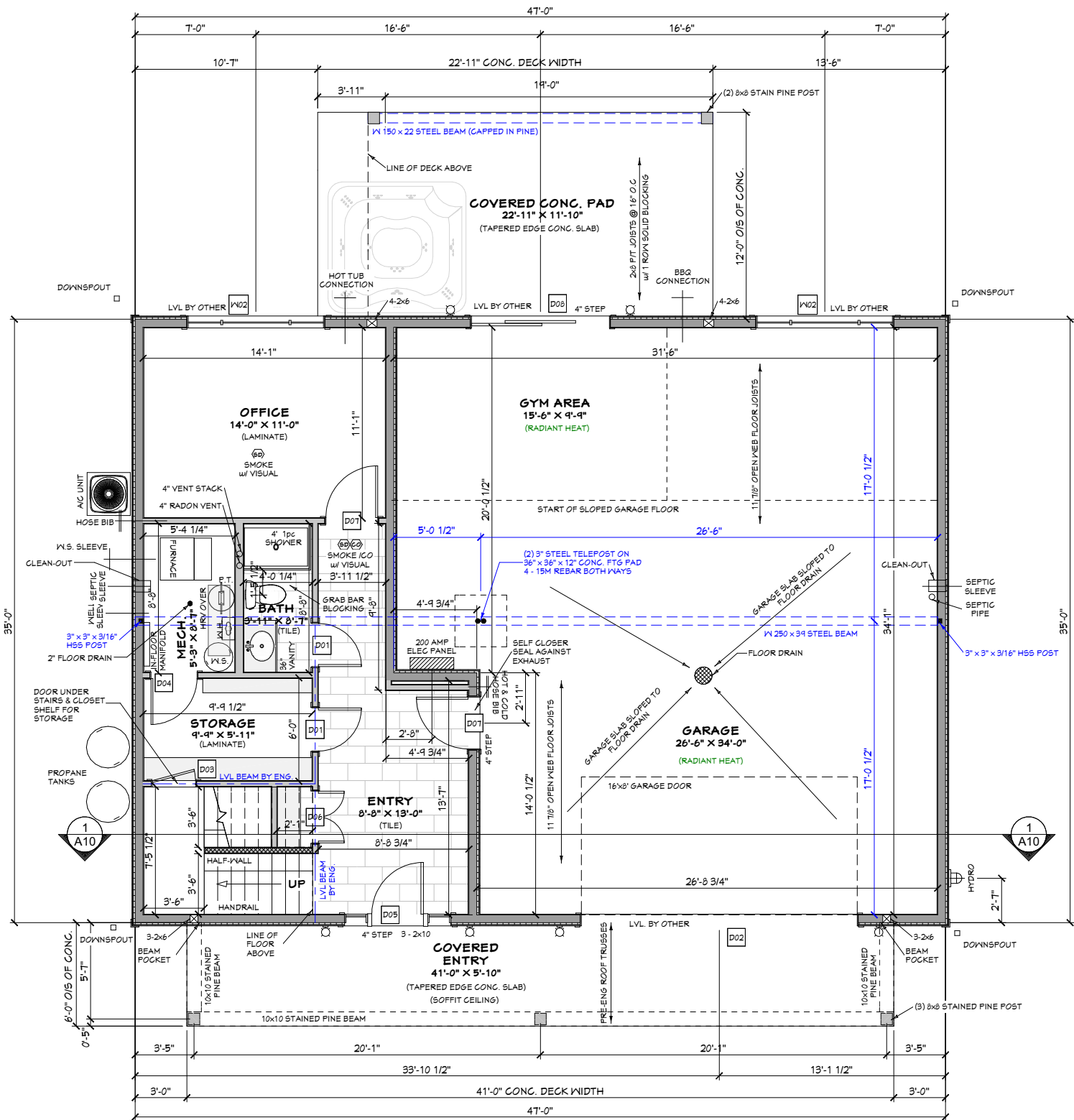


<u>CUSTOMER:</u> BYRD	<u>DRAWING NO.:</u> 2024-019
<u>DRAWING NAME:</u> FOUNDATION PLAN	
<u>SCALE:</u> 1/8" = 1'-0"	<u>Sheet #</u> A4
<u>DATE:</u> NOV 18, 2024	

STUD WALL LEGEND	
	HALF-WALL

ALL OUTSIDE
DIMENSIONS
ARE FROM FRAMING

ALL INTERIOR
DIMENSIONS
ARE FROM FRAMING



DOOR SCHEDULE									
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION	AREA, ACTUAL (SQ FT)	COMMENTS	
D01	2	1	30"	80"	32 1/2"x83 1/2"	HINGED-3 PANEL	16.67		
D02	1	1	192"	96"	195"x98"	GARAGE-GARAGE DOOR P03	128		
D03	1	1	30"	54"	32 1/2"x57 1/2"	HINGED-3 PANEL	11.25		
D04	1	1	32"	80"	34 1/2"x83 1/2"	HINGED-3 PANEL	17.78		
D05	1	1	74"	44 1/8"	75"x45 1/8"	MULLED UNIT-HL	48.37		
D06	1	1	36"	80"	38 1/2"x83 1/2"	DOUBLE HINGED-3 PANEL	20		
D07	2	1	36"	80"	38 1/2"x83 1/2"	HINGED-3 PANEL	20		
D08	1	1	46"	45 1/2"	49"x44 1/4"	EXT. SLIDER-GLASS PANEL	63.67		
D09	1	2	26"	80"	28 1/2"x83 1/2"	HINGED-3 PANEL	14.44		
D10	1	2	28"	80"	30 1/2"x83 1/2"	HINGED-3 PANEL	15.56		
D11	2	2	30"	80"	32 1/2"x83 1/2"	HINGED-3 PANEL	16.67		
D12	1	2	36"	31 9/16"	38 1/2"x35 1/16"	HINGED-3 PANEL	7.9		
D13	3	2	36"	80"	38 1/2"x83 1/2"	HINGED-3 PANEL	20		
D14	4	2	40"	80"	42 1/2"x83 1/2"	DOUBLE HINGED-3 PANEL	22.22		
D15	1	2	46"	80"	49"x83 3/4"	EXT. SLIDER-GLASS PANEL	53.33		
TOTALS:							635.86		

WINDOW SCHEDULE									
NUMBER	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	AREA, ACTUAL (SQ FT)	COMMENTS
W01	1	2	4018	48"	20"	49"x21"	FIXED GLASS	6.67	
W02	2	1	8060	46"	72"	97"x73"	TRIPLE CASEMENT-LHL/RHR	48	
W03	1	2	3030	36"	36"	37"x37"	SINGLE CASEMENT-HL	9	
W04	1	2	2850	32"	60"	33"x61"	SINGLE CASEMENT-HL	13.33	
W05	1	2	2850	32"	60"	33"x61"	SINGLE CASEMENT-HR	13.33	
W06	1	2	6050	72"	60"	73"x61"	DOUBLE CASEMENT-LHL	30	
W07	1	2	6050	72"	60"	73"x61"	DOUBLE CASEMENT-RHR	30	
W08	1	2	80311	46"	46 3/4"	97"x47 3/4"	TRIPLE CASEMENT-LHL/RHR	31.17	
W09	2	2	8050	46"	60"	97"x61"	TRIPLE CASEMENT-LHL/RHR	40	
TOTALS:							309.5		

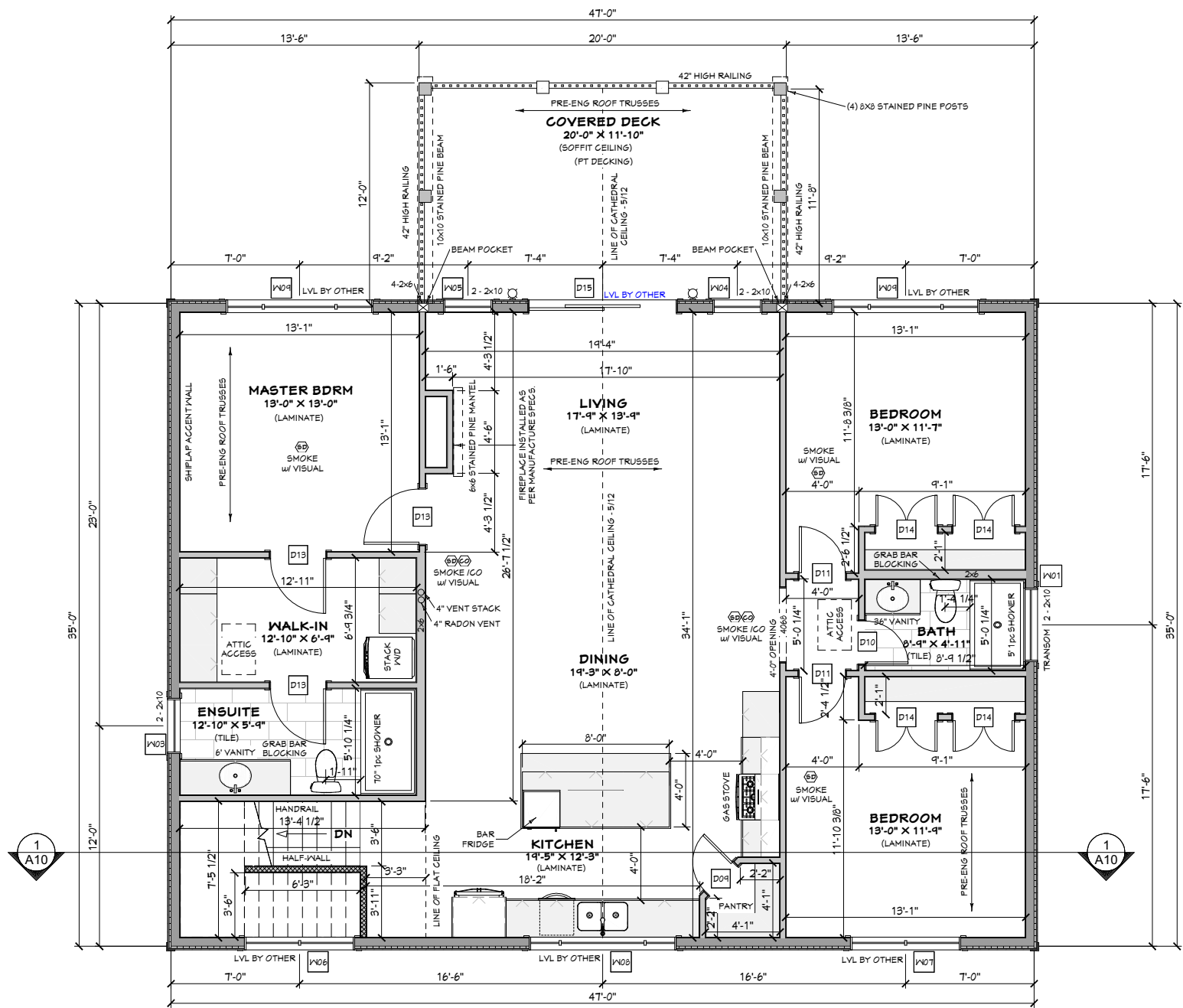
GROUND FLOOR PLAN - 556 SQ.FT.

CUSTOMER:	DRAWING NO.
BYRD	2024-019
DRAWING NAME:	
GROUND FLOOR PLAN	
SCALE:	Sheet #
1/8" = 1'-0"	A5
DATE:	
NOV 18, 2024	

STUD WALL LEGEND	
	HALF-WALL

ALL OUTSIDE
DIMENSIONS
ARE FROM FRAMING

ALL INTERIOR
DIMENSIONS
ARE FROM FRAMING



DOOR SCHEDULE								
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION	AREA, ACTUAL (SQ FT)	COMMENTS
D01	2	1	30"	80"	32 1/2"X83 1/2"	HINGED-3 PANEL	16.67	
D02	1	1	192"	96"	195"X98"	GARAGE-GARAGE DOOR P03	128	
D03	1	1	30"	54"	32 1/2"X57 1/2"	HINGED-3 PANEL	11.25	
D04	1	1	32"	80"	34 1/2"X83 1/2"	HINGED-3 PANEL	17.78	
D05	1	1	74"	44 1/8"	75"X45 1/8"	MULLED UNIT-HL	48.37	
D06	1	1	36"	80"	38 1/2"X83 1/2"	DOUBLE HINGED-3 PANEL	20	
D07	2	1	36"	80"	38 1/2"X83 1/2"	HINGED-3 PANEL	20	
D08	1	1	46"	45 1/2"	49"X44 1/4"	EXT. SLIDER-GLASS PANEL	63.67	
D09	1	2	26"	80"	28 1/2"X83 1/2"	HINGED-3 PANEL	14.44	
D10	1	2	28"	80"	30 1/2"X83 1/2"	HINGED-3 PANEL	15.56	
D11	2	2	30"	80"	32 1/2"X83 1/2"	HINGED-3 PANEL	16.67	
D12	1	2	36"	31 9/16"	38 1/2"X35 1/16"	HINGED-3 PANEL	7.9	
D13	3	2	36"	80"	38 1/2"X83 1/2"	HINGED-3 PANEL	20	
D14	4	2	40"	80"	42 1/2"X83 1/2"	DOUBLE HINGED-3 PANEL	22.22	
D15	1	2	46"	80"	49"X83 3/4"	EXT. SLIDER-GLASS PANEL	53.33	
TOTALS:							635.86	

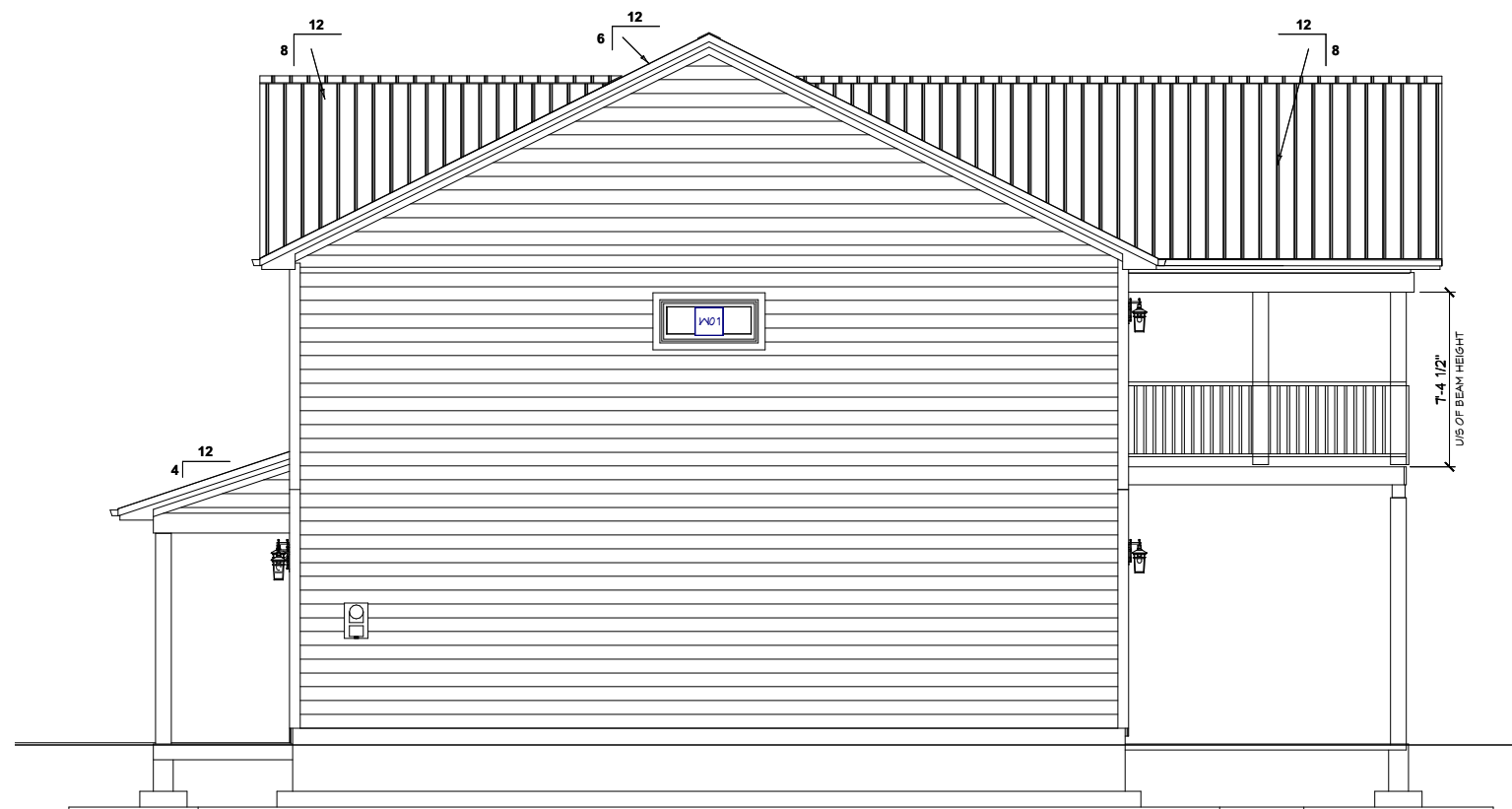
WINDOW SCHEDULE								
NUMBER	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	AREA, ACTUAL (SQ FT)
W01	1	2	4018	48"	20"	49"X21"	FIXED GLASS	6.67
W02	2	1	8060	46"	72"	97"X73"	TRIPLE CASEMENT-LHL/RHR	48
W03	1	2	3030	36"	36"	37"X37"	SINGLE CASEMENT-HL	9
W04	1	2	2850	32"	60"	33"X61"	SINGLE CASEMENT-HL	13.33
W05	1	2	2850	32"	60"	33"X61"	SINGLE CASEMENT-HR	13.33
W06	1	2	6050	72"	60"	73"X61"	DOUBLE CASEMENT-LHL	30
W07	1	2	6050	72"	60"	73"X61"	DOUBLE CASEMENT-RHR	30
W08	1	2	80311	46"	46 3/4"	97"X47 3/4"	TRIPLE CASEMENT-LHL/RHR	31.17
W09	2	2	8050	46"	60"	97"X61"	TRIPLE CASEMENT-LHL/RHR	40
TOTALS:								309.5

SECOND FLOOR PLAN - 1645 SQ.FT.

CUSTOMER:	DRAWING NO.
BYRD	2024-019
DRAWING NAME:	
SECOND FLOOR PLAN	
SCALE:	Sheet #
1/8" = 1'-0"	A6
DATE:	
NOV 18, 2024	

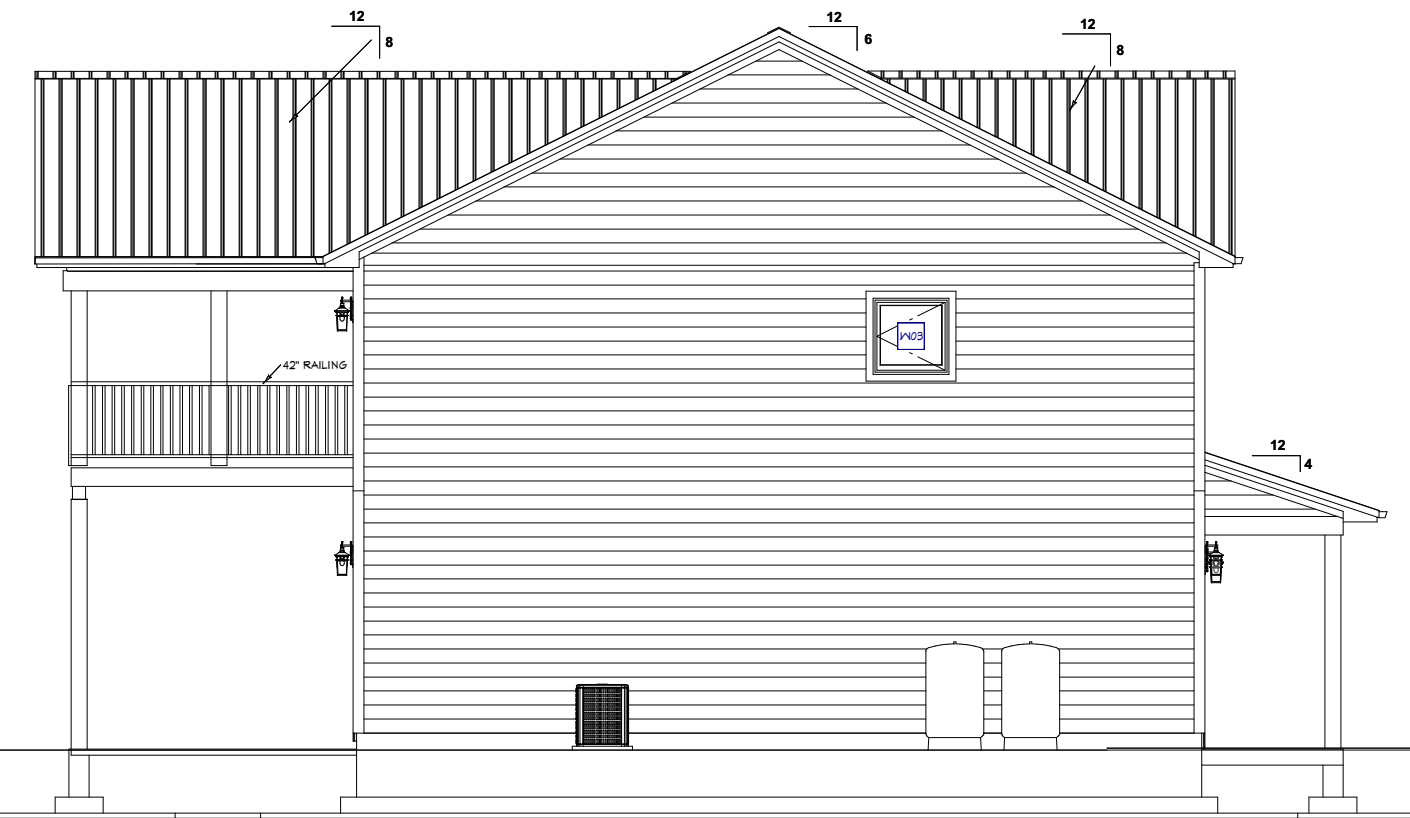


FRONT ELEVATION



RIGHT ELEVATION

CUSTOMER:	DRAWING NO.
BYRD	2024-019
DRAWING NAME:	ELEVATIONS
SCALE:	Sheet #
1/8" = 1'-0"	A7
DATE:	NOV 18, 2024



LEFT ELEVATION

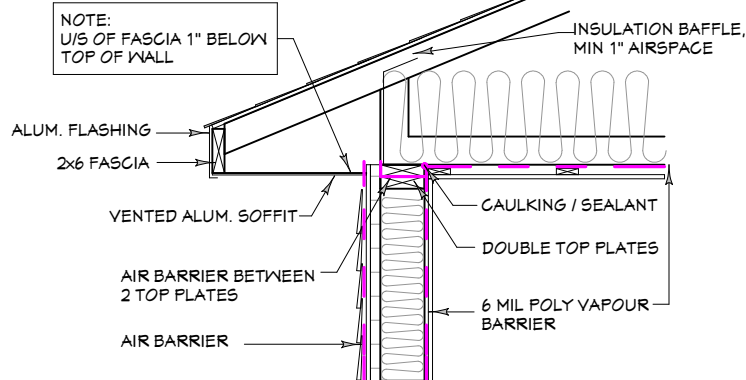


REAR ELEVATION

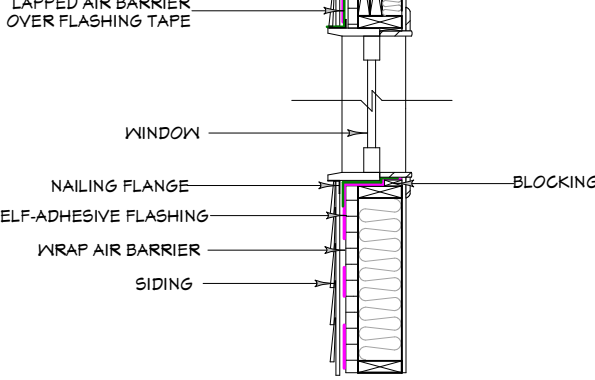
CUSTOMER:	DRAWING NO.
BYRD	2024-019
DRAWING NAME:	
ELEVATIONS	
SCALE:	Sheet #
1/8" = 1'-0"	A8
DATE:	
NOV 18, 2024	

EAVE PROTECTION AS PER O.B.C. 9.26.5.1.(1)
900mm MUST BE INSTALLED STARTING FROM ROOF
EDGE WITH NOT LESS THAN 300mm FROM THE INSIDE
OF THE INNER FACE OF THE EXTERIOR WALL.

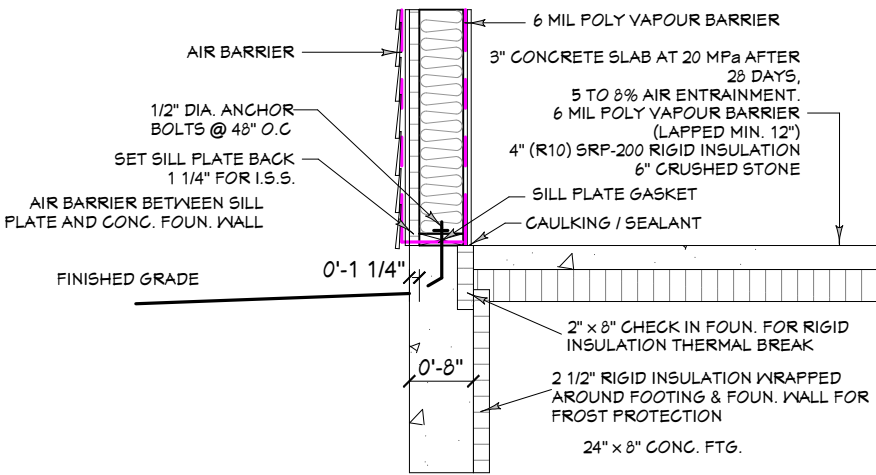
ROOF VENT:
MIN. UNOBSTRUCTED
AREA 1/300 OF INSULATED
CEILING AREA.



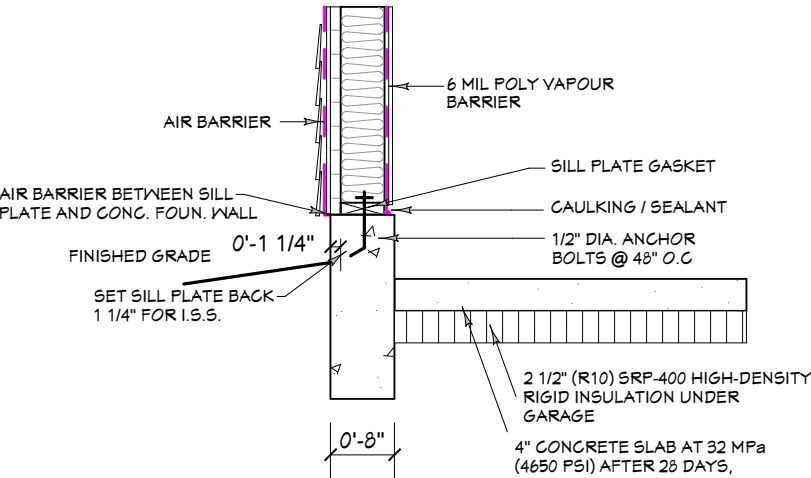
ROOF OVERHANG DETAIL



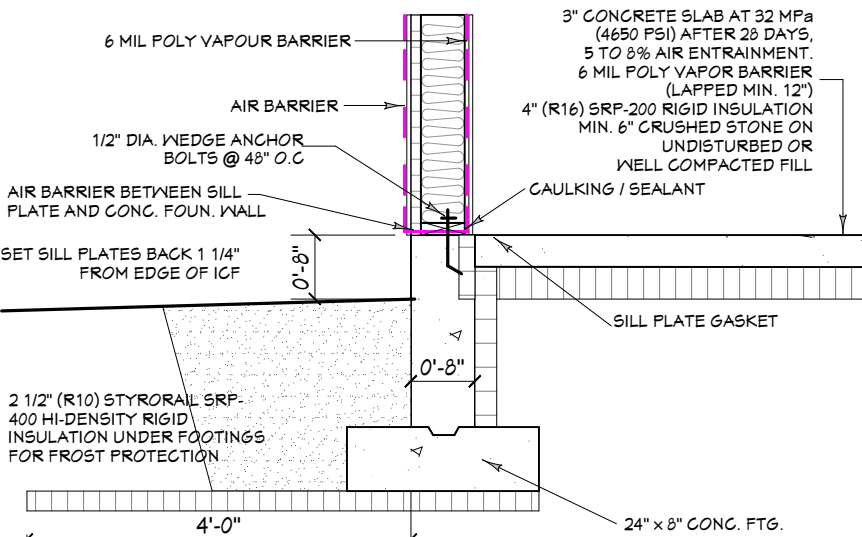
WINDOW WRAP DETAIL



SLAB ON GRADE FOUN. DETAIL

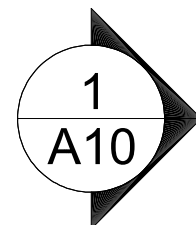
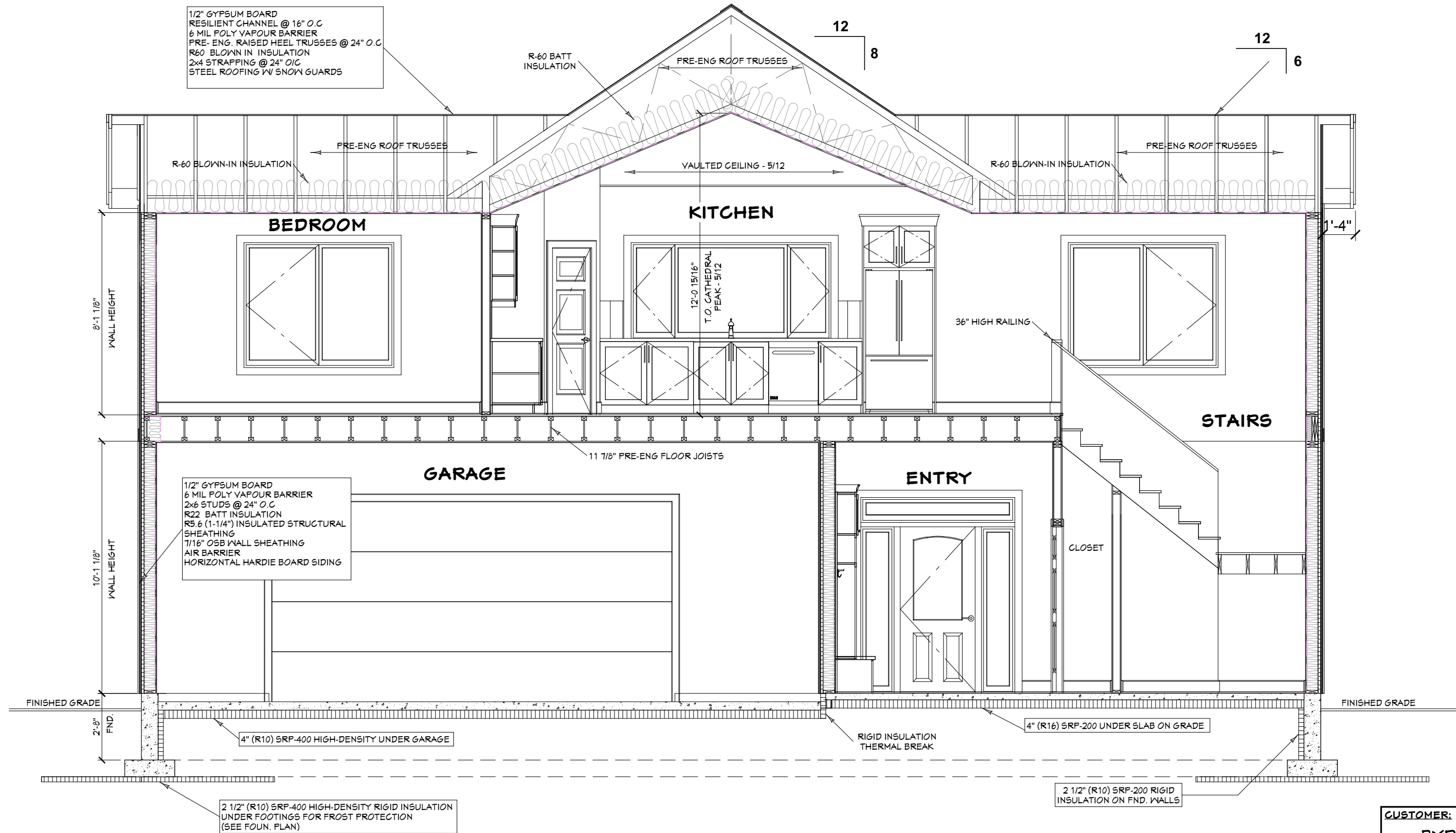


GARAGE WALL w/ ISS DETAIL



FOUN. DETAIL AT SIDING

CUSTOMER:	DRAWING NO.
BYRD	2024-019
DRAWING NAME:	
DETAILS	
SCALE:	Sheet #
DATE:	A9
NOV 18, 2024	



BUILDING SECTION

SCALE: 1/4" = 1'-0"

CUSTOMER:	DRAWING NO.
BYRD	2024-019
DRAWING NAME:	BUILDING SECTION
SCALE:	Sheet #
DATE:	A10
NOV 18, 2024	